

BUILDING STAKEOUT PLAN



Old Country Store
CRACKER BARREL OLD COUNTRY STORE, INC.
 307 Hartmann Drive
 Lebanon, Tennessee 37087
 (615) 444-5533 Fax: (615) 443-9576

SITE CONSTRUCTION PLANS
Cracker Barrel Old Country Store
 Lot 1 of Progress Point Village
 Mo. State Hwy. K & Weldon Spring Road
 O'Fallon, MO. 63304

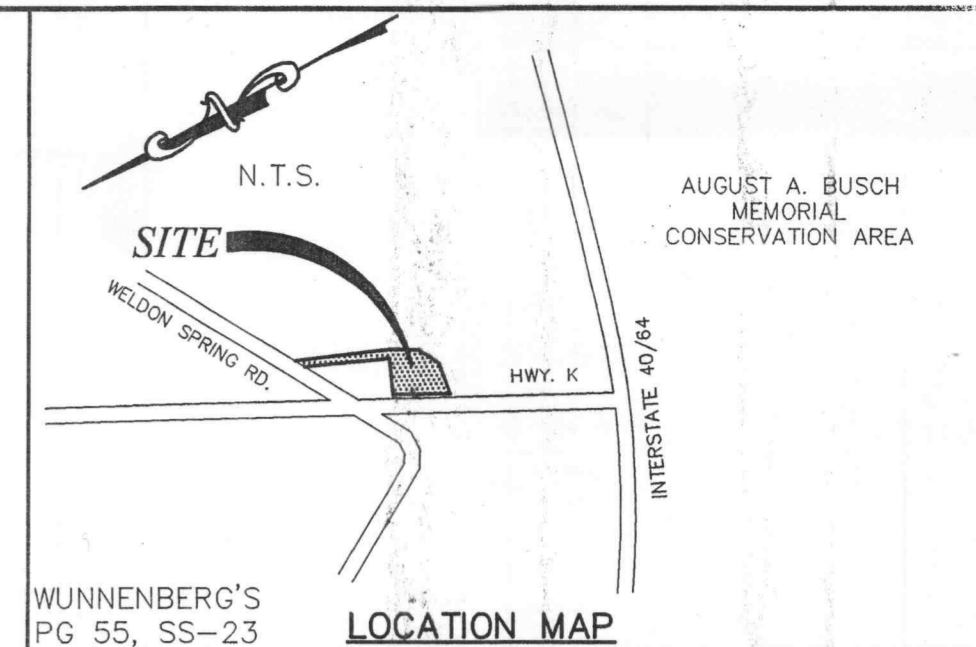
ABBREVIATIONS

- AI - Area Inlet
- B/B - Back to Back
- CB - Catch Basin
- CI - Curb Inlet
- OMP - Corrugated Metal Pipe
- CTV - Cable Television
- ChB - Chord Bearing
- Conc - Concrete
- DB - Deed Book
- DCB - Double Catch Basin
- DFL(N) - Drop FL from North
- DIP - Ductile Iron Pipe
- E - Electric
- F/F - Face to Face
- FES - Flared End Section
- FF - Finish Floor
- GI - Grate Inlet
- Gr MH - Grate Manhole
- L - Length of Curve
- MH - Manhole
- N/F - Now or Formerly
- OHE - Overhead Electric
- OHE&T - Overhead Electric & Telephone
- PB - Plat Book
- PG - Page
- PL - Property Line
- PVC - Polyvinyl Chloride Pipe
- R - Radius
- R/W - Right of Way
- RCP - Reinforced Concrete Pipe
- TBR - To Be Removed
- TBR&R - To Be Removed & Replaced
- TBRel - To Be Relocated
- Typ - Typical
- UGE - Underground Electric
- UGFO - Underground Fiber Optic
- UGT - Underground Telephone
- UIP - Use In Place / Use in Place
- VCP - Vitriified Clay Pipe
- W - Water Service

LEGEND

- ⊕ (⊕) - Area Light (w/ 120V Recept.)
- (—) - Connection (Proposed)
- (—) - Fire Hydrant
- (—) - Concrete
- (—) - Doorway Entrance
- (—) - Drainage Flow
- (—) - Swale
- (—) - Water Meter Or Valve
- (—) - Gas Meter Or Valve
- (—) - Utility Pole w/ Guy Wires
- (—) - Handicap Parking Space
- ← (←) - Direction Of Traffic

- Existing Contour (48) - (48)
- Proposed Spot Elevation (48) or (500)
- Sanitary Sewer
- Storm Sewer
- Utility Service (E, T, G, etc.)



SITE DATA

TOTAL AREA OF THIS SITE IS 111,705 SQUARE FEET = 2.55 ACRES
 PROPOSED BLDG. = 9,984 S.F. = 8.9%
 PORCH = 1,423 S.F. = 1.3%
 GREEN AREA PLUS SIDEWALK = 30,445 S.F. = 27.3%
 PAVEMENT AREA = 69,853 S.F. = 62.5%

ADDRESS: HWY K & WELDON SPRING ROAD
 (PART OF LOT D OF "PROGRESS POINT")

THE SITE IS SERVED BY THE FOLLOWING UTILITIES:
 LALEDE GAS
 AMEREN UE
 SOUTHWESTERN BELL TELEPHONE (SBC)
 DUCKETT CREEK SANITARY DISTRICT
 MISSOURI AMERICAN WATER COMPANY
 COTTLEVILLE FIRE PROTECTION DISTRICT

PROPERTY ZONED: C-2 (GENERAL COMMERCIAL DISTRICT)

FLOOD MAP PANEL: 29183C0430 E; REV. AUG. 2, 1996

BUILDING = 117' x 85.33' = 9,984 SQUARE FEET

PARKING REQUIRED: (20 SPACES PLUS 1 PER 100 SF OF FLOOR AREA)

SPACES REQUIRED = 20
 BUILDING = 9,984 S.F. = 100 SPA.
 TOTAL SPACES REQUIRED = 120 SPACES

SPACES PROVIDED = 157
 INCLUDES: 6 HANDICAP SPACES
 3 RV SPACES

SHEET INDEX:

1. COVER SHEET
2. DIMENSION PLAN
3. GRADING PLAN
4. EROSION CONTROL PLAN
5. EXISTING DRAINAGE AREAS
6. PROPOSED DRAINAGE AREAS
7. OFFSITE DRAINAGE AREAS
8. UTILITY PLAN
9. RETAINING WALL PLAN
10. RETAINING WALL DETAILS
11. BOUNDARY SURVEY
12. DEVELOPMENT PLAN LOT 1
13. CONSTRUCTION DETAILS
14. CONSTRUCTION DETAILS
15. CONSTRUCTION NOTES & DETAILS
16. SEWER PROFILES
- ES1 ELECTRICAL SITE PLAN
- ES2 ELECTRICAL PHOTOMETRIC PLAN
- LP1 LANDSCAPE PLAN
- LP2 IRRIGATION PLAN
- LP3 STANDARD DETAILS
- LP4 SLEEVING PLAN

NO.	DATE	BY	REVISIONS
5	11/25/03	SLH	REVISE PER CITY OF O'FALLON
4	10/31/03	HLT	MISC. REV. PER CITY COMMENTS
3	9/3/03	HLT	MISC. REV.
2	8/29/03	HRL	REVISE SURVEY
1	7/07/03	HLT	UTILITY POLE LOCATION



Underground facilities, structures & utilities have been plotted from available surveys, records & information, and therefore, do not necessarily reflect the actual existence, nonexistence, size, type, number of, or location of these facilities, structures, & utilities.

The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, & utilities, either shown or not shown on these plans. The underground facilities, structures, & utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

The original of this drawing is on file at the office of The Clayton Engineering Company. Any modifications to this drawing shall release said Clayton Engineering Company, the Engineer and/or the Surveyor whose seal appears hereon from any liability resulting from said unauthorized modifications.

NOTE:
 EXISTING GRADING, PAVING, SEWERS & UTILITIES AS SHOWN ARE THE THE PROPOSED IMPROVEMENTS FOR "PROGRESS POINT VILLAGE" AS PREPARED BY STOCK & ASSOC. (OCTOBER 2003).

ALL SIGNS TO BE IN COMPLIANCE WITH THE CITY OF O'FALLON SIGN ORDINANCE AND VARIANCE APPROVED BY BOARD OF ADJUSTMENT.

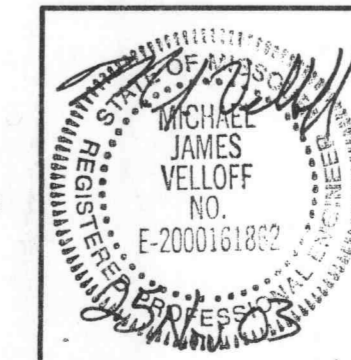
ALL UTILITIES TO BE PLACED UNDERGROUND.

DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.

ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.

12-2-03 *glt*
APPROVED
as noted

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PLANNING & ZONING FILE #99104.06

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Project Number: 03017-1
 Sheet Number: 1 of 22

Designed: DJB/MJV
 Drawn: HLT, HRL
 Checked: DJB/MJV
 Date: 7/7/03

Project Name: CRACKER BARREL

Bldg. Inspector