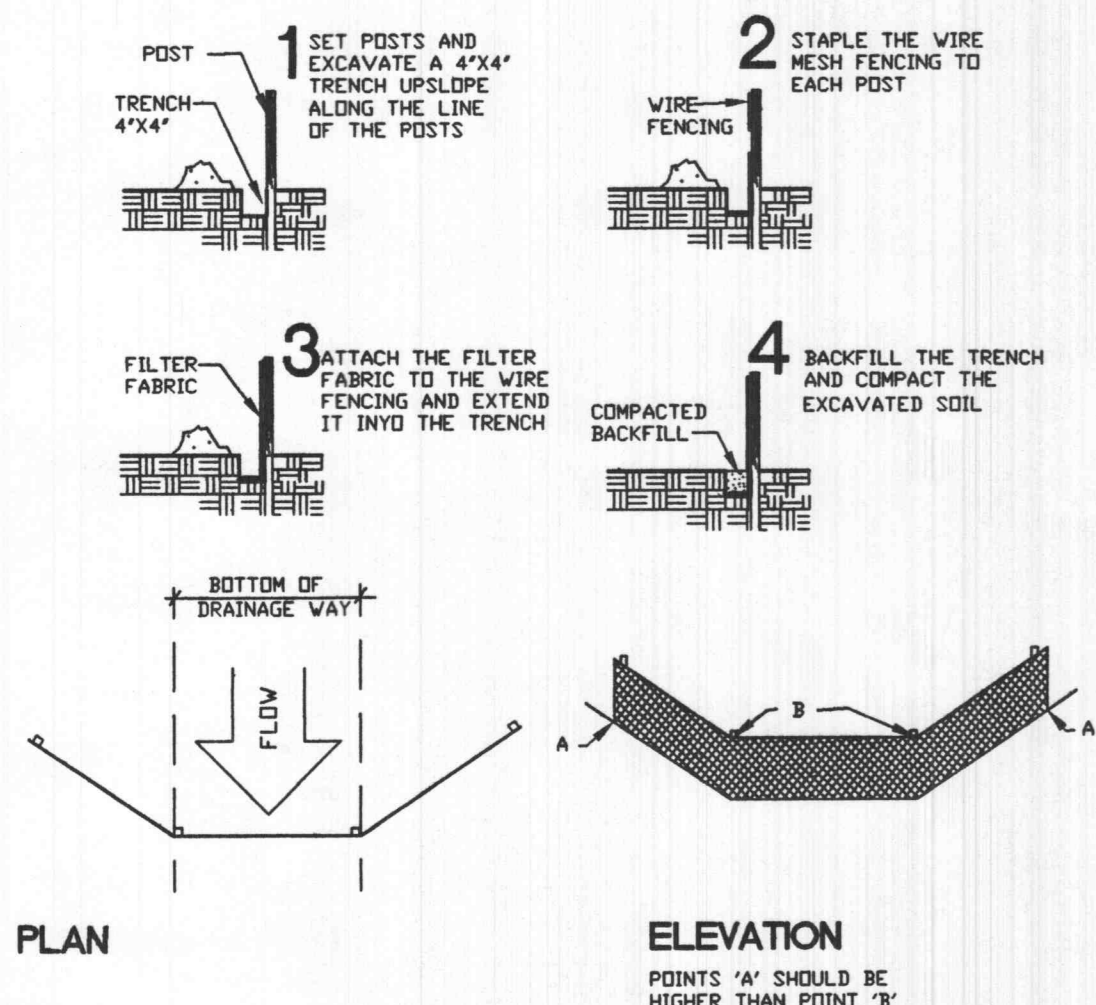


SYNTHETIC FILTER BARRIERS
FOR URBAN DEVELOPMENT SITES
APPENDIX D

MAINTENANCE

- Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- Should the fabric decompose or become ineffective prior to the end of the expected useful life and the barrier still be necessary, the fabric shall be replaced promptly.
- Sediment deposits should be removed after each storm event. They must be removed when deposits reach approximately half the height of the barrier.
- Any sediment deposits remaining in place after the silt fence or filter barrier is no longer required shall be dressed to conform with the existing grade, prepared and seeded.



VEGETATIVE ESTABLISHMENT FOR URBAN DEVELOPMENT SITES
APPENDIX A

SEEDING RATES:

Permanent:
Tall Fescue - 30 lbs./ac.
Smooth Brome - 20 lbs./ac.
Combined Fescue/Brome - 15 lbs./ac. and Brome 10 lbs./ac.

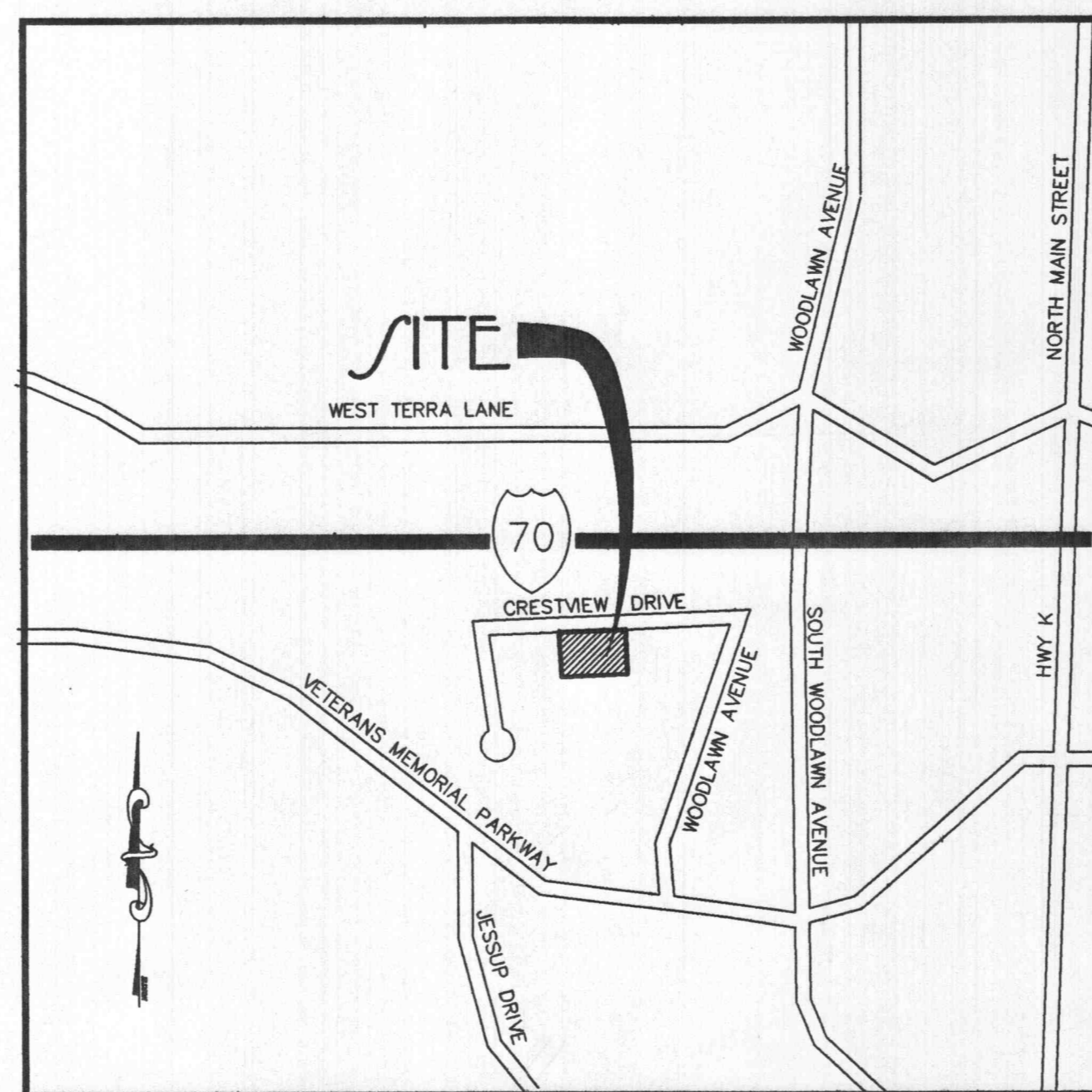
Temporary:
Wheat or Rye - 150 lbs./ac. (35 lbs. per 1000 sq. ft.)
Oats - 120 lbs./ac. (27.5 lbs. per 1000 sq. ft.)

SEEDING PERIODS:
Fescue or Brome: March 1 to June 1
Wheat or Rye: August 1 to October 1
Oats: March 15 to November 1

MULCH RATES: 100 lbs. per 1000 sq. ft. (4,356 lbs. per acre)

FERTILIZER RATES: Nitrogen 30 lbs./ac., Phosphate 30 lbs./ac., Potassium 30 lbs./ac., Lime 600 lbs./ac. ENM*

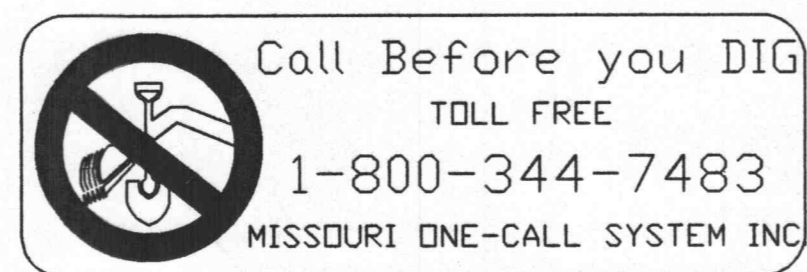
*ENM = effective neutralizing material as per State evaluation of quarried rock.



LOCATION MAP
N.T.S.

INDEX

- SHEET 1: COVER SHEET
- SHEET 2: NOTES AND SPECS.
- SHEET 3: FLAT PLAN
- SHEET 4: GRADING PLAN
- SHEET 5: PROFILES / TRASH ENCLOSURE DETAIL
- SHEET 6: DRAINAGE AREA PLAN
- SHEET 7: LANDSCAPE PLAN
- SHEET 8: TRAFFIC CONTROL PLAN
- SHEET CD1-CD2 CONSTRUCTION DETAILS



Underground facilities, structures and utilities have been plotted from available surveys, records and information, and therefore, do not necessarily reflect the actual existence, non-existence, size, type, number of, or location of these facilities, structures, and utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures, and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.

NOTE: ALL EROSION CONTROL SYSTEMS ARE INSPECTED AND NECESSARY CORRECTION MADE WITHIN 24 HOURS OS ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.

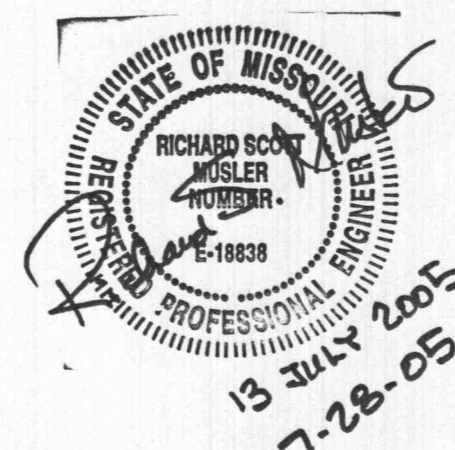
SITE PLAN NOTES

- GROSS ACREAGE: 0.61 acres, 26,751 square feet
- EXISTING ZONING: "C-2" GENERAL BUSINESS DISTRICT
- PROPOSED USE: OFFICE BUILDING
- PARKING REQUIRED: 1 SPACE PER 300 S.F.
6,723/300 = 22 spaces
BICYCLE PARKING: 1 SPACE PER 15 CAR PARKING SPACES OR MINIMUM OF 4 PER BUILDING.
31/15 = 2 BICYCLE PARKING SPACES
- PROVIDED PARKING SPACES: 31 total
BICYCLE PARKING SPACES: 5 total
- SIGHT COVERAGE:
BUILDING - 6,723 sq.ft. - 25%
PARKING - 11,475 sq.ft. - 43%
LANDSCAPE - 8,553 sq.ft. - 32%
- SETBACKS:
FRONT YARD: 25 FEET
SIDE YARD: 0 FEET
REAR YARD: 0 FEET
- THIS PROPERTY IS PROPOSED TO BE SERVED BY:
SANITARY SEWER: CITY OF O'FALLON (636)240-2000
WATER: CITY OF O'FALLON (636)240-2000
ELECTRIC: AMEREN UE (636)925-3242
GAS: LACLEDE GAS COMPANY (636)978-2663
TELEPHONE: CENTURY TEL
- THIS PROPERTY IS LOCATED IN THE FOLLOWING SERVICE AREAS:
O'FALLON FIRE PROTECTION DISTRICT
FT. ZUMWALT SCHOOL DISTRICT
- THIS PROPERTY IS NOT AFFECTED BY ANY SPECIAL FLOOD HAZARD AREAS PER FIRM MAP NUMBER 29183C0237 E, DATED AUGUST 2, 1996.
- ALL NEWLY CONSTRUCTED UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL EXISTING DRIVES AND STRUCTURES ON SITE TO BE DEMOLISHED.
- MECHANICAL UNITS FENCE SCREENING TO BE AT LEAST AS TALL AS THE TALLEST UNIT BEING SCREENED.
- A BOUNDARY ADJUSTMENT PLAT WILL BE PREPARED AFTER ZONING APPROVAL.
- CROSS ACCESS EASEMENT TO CHURCH PROPERTY TO BE ESTABLISHED WITH BOUNDARY ADJUSTMENT PLAT.
- DOWN SPOUTS SPILLED ONTO SPLASH BLOCKS.

CONSTRUCTION NOTES

- The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of silts or mud on new or existing pavement or in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT. Erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Developer must supply City construction inspectors with soil reports prior to or during site soil testing.
- No slopes shall be steeper than 3(horizontal) to 1(vertical).
- All paving to be in accordance with St. Charles County standards and specifications as modified by the City of O'Fallon ordinances.
- Sidewalk curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved American with Disabilities Act Accessibility Guidelines (adaag) along with the required grades, construction materials, specifications and signage. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall take precedence and the contractor prior to any construction shall notify the Project Engineer.
- Lighting values will be reviewed on site prior to the final occupancy inspection. Corrections will need to be made if not in compliance with City standards.
- All proposed fencing requires a separate permit through the Planning Division.
- All sign locations and sizes must be approved separately through the Planning Division.
- All sign post and backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by the City and MoDOT). Signs designating street name shall be on the opposite side of the street from traffic control signs.
- All utilities will be located underground.
- All sign locations and sizes must be approved separately through the Planning Division.
- All fill placed under proposed storm and sanitary sewer, proposed roads, and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All fill placed in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and backfilling operations. The moisture content of the soil in fill areas is to correspond to the compactive effort as defined by the Standard or Modified Proctor Test. Optimum moisture content shall be determined using the same test that was used for compaction. Soil compaction curves shall be submitted to the City of O'Fallon prior to the placement of fill. Proof rolling may be required to verify soil stability at the discretion of the City of O'Fallon.
- Brick shall not be used in the construction of sanitary or storm sewer structures.
- Graded areas that are to remain bare for over 2 weeks are seeded and mulched.
- All erosion control systems are inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Grades for entrances should not exceed 2% at walks, 4% from street and 10% overall.
- All structures and manholes are to have 0.20' drop across the bottom.
- Sanitary laterals are to be at least 6" diameter.
- City water meters are to be in general utility easements on the subdivision plat.

7-29-05
APPROVED



PREPARED FOR:
LUETKENHAUS PROPERTIES
MR. BILL LUETKENHAUS, OWNER - BROKER
1120 ROCK CREEK ELEMENTARY DRIVE
O'FALLON, MISSOURI 63366
TELEPHONE: 636.272.4200
FAX: 636.272.4205

DATE	NO.	REVISION
JULY 05	1	Comments from City of O'Fallon
JULY 05	2	Comments from City of O'Fallon & MoDOT

MUSLER ENGINEERING COMPANY
CIVIL ENGINEERING - PLANNING - LAND SURVEYING
32 Portwest Court, St. Charles, Missouri 63303
Telephone: (636) 916-0444 Fax (636) 916-3444

DATE	DRAWN	CHECKED	PROJECT NO.	SHEET NO.
MAY 2005	JON	RSM	04-844	1 OF 8

Bldg Inspector