

CONSTRUCTION PLANS FOR CROSSROADS CENTER

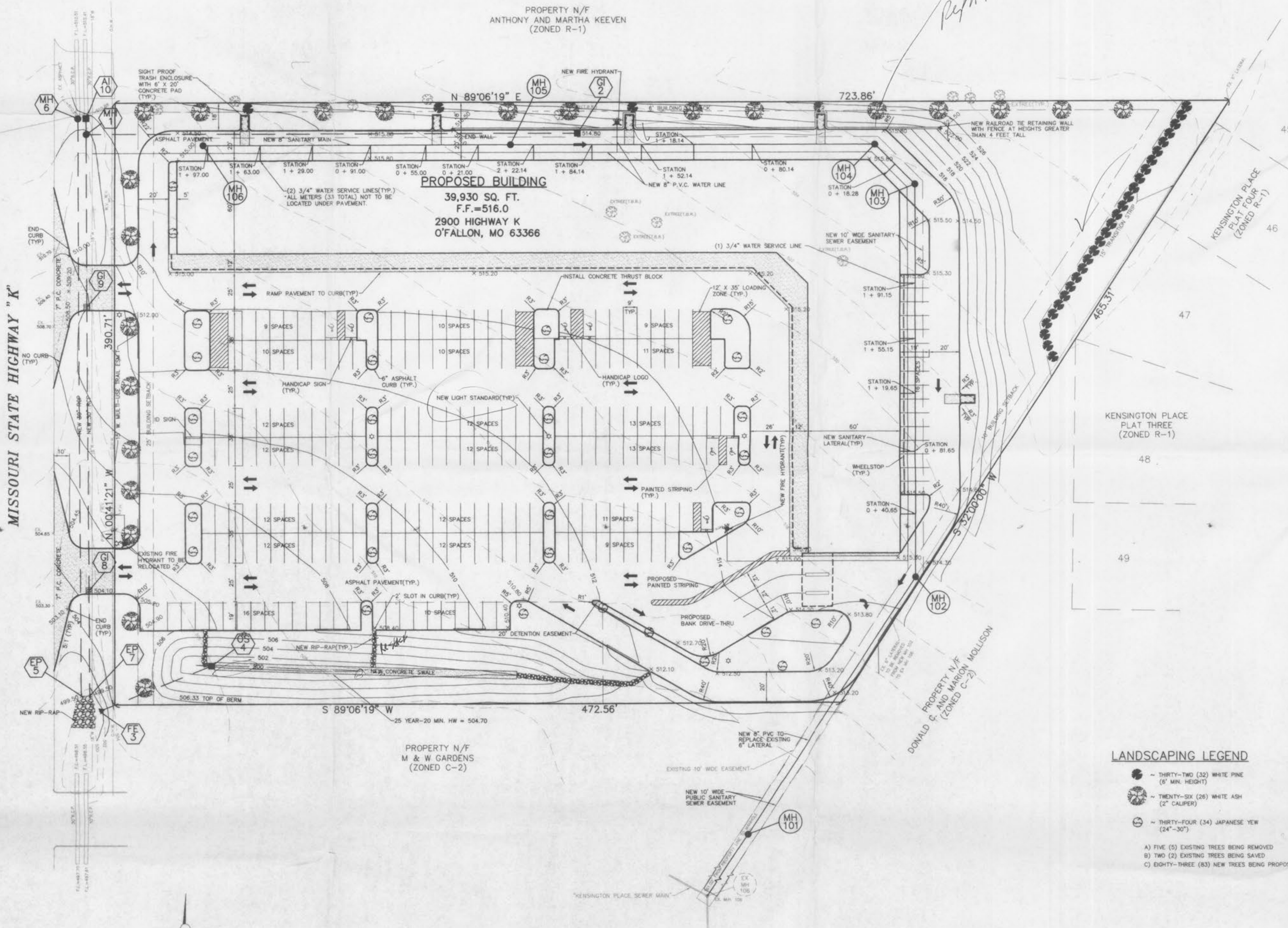
A TRACT OF LAND BEING PART OF U.S. SURVEY 67, TOWNSHIP 46 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI

GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M. D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-998).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (A.S.T.M. D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SOGGED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF OTTALON AND DUCKETT CREEK SANITARY DISTRICT STANDARDS.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:
STREET TREES: 390.71 L.F. = 10 TREES
1 TREE / 40 L.F.
ADDITIONAL TREES: 77,785 S.F. OPEN SPACE = 26 TREES
1 TREE / 3,000 S.F.
TOTAL REQUIRED: 36 TREES
- TOTAL OPEN SPACE/STREET TREES PROPOSED: 55 TREES (SEE TREE INVENTORY & LANDSCAPE LEGEND)
- TOTAL TRANSITION STRIP TREES PROPOSED: 28 TREES (SEE TREE INVENTORY & LANDSCAPE LEGEND)
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF OTTALON ZONING ORDINANCES. (SEE TREE INVENTORY & LANDSCAPE LEGEND)
- THE DEVELOPER SHALL COMPLY WITH CURRENT ARTICLE 26 PERFORMANCE STANDARDS.
- A VARIANCE WILL BE APPLIED FOR THE TRANSITION STRIP ALONG THE NORTH PROPERTY LINE.
- A PERMIT WILL BE OBTAINED FROM MDDOT FOR THE ENTRANCE AND THE STORM PIPES.
- A DONATION OF \$10.00 PER LINEAR FOOT OF FRONTAGE (\$3,907.10) WILL BE PROVIDED BY DEVELOPER.
- ALL MANHOLE TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER WILL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- 8" P.V.C. SANITARY SEWER PIPE SHALL MEET THE FOLLOWING STANDARDS: A.S.T.M. D-3034 SDR-35, WITH WALL THICKNESS COMPRESSION JOINT A.S.T.M. D-3212. AN APPROPRIATE RUBBER SEAL WATERSTOP AS APPROVED BY THE SEWER DISTRICT SHALL BE INSTALLED BETWEEN P.V.C. PIPE AND MASONRY STRUCTURES.
- ALL P.V.C. SANITARY SEWER IS TO BE SDR-35 OR EQUAL WITH CLEAN 1/2" TO 1" GRANULAR STONE BEDDING UNIFORMLY GRADED. THIS BEDDING SHALL EXTEND FROM 6" BELOW THE PIPE TO 12" ABOVE THE SPRINGLINE OF THE PIPE. IMMEDIATE BACKFILL OVER PIPE SHALL CONSIST OF SAME SIZE "CLEAN" OR MOUND STONE FROM SPRINGLINE OF PIPE TO 4" ABOVE THE TOP OF PIPE.
- EASEMENTS SHALL BE PROVIDED FOR SANITARY SEWERS, AND ALL UTILITIES ON THE RECORD PLAT. SEE RECORD PLAT FOR LOCATION AND SIZE OF EASEMENTS.
- WHENEVER WATER LINES MUST CROSS SANITARY SEWERS, LATERALS, OR STORM DRAINS THE WATER LINE SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER LINE IS ABOVE THE TOP OF THE DRAIN OR SEWER A FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER LINE TO BE CROSSED SO THAT THE JOINTS WILL BE EQUALLY DISTANT FROM THE SEWER AND AS REMOTE THEREFROM AS POSSIBLE. THIS VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATER LINE LOCATED WITHIN 10 FEET HORIZONTALLY OF ANY SEWER OR DRAIN IT CROSSES.
- ALL P.V.C. WATER PIPE 6" AND LARGER IN SIZE SHALL BE PER ST. CHARLES COUNTY PUBLIC WATER DISTRICT NO. 2 SPECIFICATIONS. ALL OTHER MAINS SHALL HAVE A MINIMUM PRESSURE RATING OF 70-200 OR SDR-21. NOTE: ULTRA-BLUE PVC (M) PRESSURE PIPE WITH A MINIMUM PRESSURE RATING OF 200 P.S.I. SHALL ALSO BE CONSIDERED ACCEPTABLE.
- WATER LINES, VALVES, SLEEVES, METERS, AND FITTINGS SHALL MEET ALL SPECIFICATIONS AND INSTALLATION REQUIREMENTS OF ST. CHARLES COUNTY PUBLIC WATER DISTRICT NO. 2.
- ALL WATER HYDRANTS AND VALVES SHALL BE DUCTILE IRON AND INSTALLED IN ACCORDANCE WITH PLANS AND DETAILS. ALL DUCTILE IRON PIPE FOR WATER MAINS SHALL CONFORM TO A.W.W.A. SPECIFICATIONS C-106 AND/OR C-108. THE DUCTILE IRON FITTINGS SHALL CONFORM TO A.W.W.A. SPECIFICATION CC-110. ALL RUBBER CASSETT GENTS FOR WATER DUCTILE IRON PRESSURE PIPE AND FITTINGS SHALL CONFORM TO A.W.W.A. SPECIFICATION C-111.
- ALL SANITARY MANHOLES SHALL BE WATERPROOFED ON THE EXTERIOR IN ACCORDANCE WITH MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS 10 CSR-8.120 (7).E.
- BRICK WILL NOT BE USED IN THE CONSTRUCTION OF SANITARY SEWER MANHOLES.
- ALL PIPES SHALL HAVE POSITIVE DRAINAGE THROUGH MANHOLES. NO FLAT BASE STRUCTURES ARE ALLOWED.
- ALL SANITARY SEWER MANHOLES TO BE 42 INCH MINIMUM INSIDE DIAMETER IN ACCORDANCE WITH MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATION 10 CSR 20-8.
- THE CITY OF OTTALON AND DUCKETT CREEK SANITARY DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO CONSTRUCTION FOR COORDINATION AND INSPECTION.
- ALL CONCRETE PIPE SHALL BE INSTALLED WITH O-RING RUBBER TYPE GASKETS PER M.S.D. STANDARD CONSTRUCTION SPECIFICATIONS.

1) Stable soil
Base (No. 10)
No. 10
2) Big top = middle soil
3) backfill (with soil)

Refracts on wall



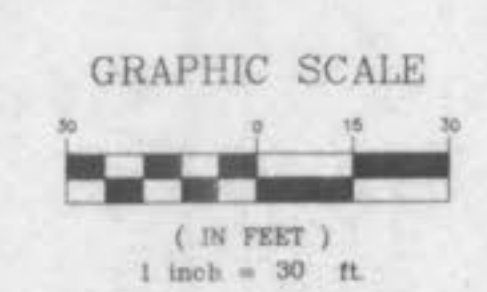
LANDSCAPING LEGEND

- THIRTY-TWO (32) WHITE PINE (6' MIN. HEIGHT)
 - TWENTY-SIX (26) WHITE ASH (2" CALIPER)
 - THIRTY-FOUR (34) JAPANESE YEW (24"-30")
- A) FIVE (5) EXISTING TREES BEING REMOVED
B) TWO (2) EXISTING TREES BEING SAVED
C) EIGHTY-THREE (83) NEW TREES BEING PROPOSED

DEVELOPMENT NOTES

- Area of Tract: 5.36 Acres
- Existing Zoning: C-2 (General Business District)
- Proposed Use: Shopping Center
- Area of Building: 39,930 Sq. Ft.
- The required height and building setbacks are as follows:
Minimum Front Yard: 25 feet
Minimum Side Yard: 0 feet
Minimum Rear Yard: 10 feet
Maximum Height of Building: 50 feet
- Owner: Solon Gershman Inc., Realtors
7 North Bemiston Avenue
St. Louis, Missouri 63105
(314) 862-9400
- Site is served by:
Duckett Creek Sanitary District
Union Electric Company
St. Charles Gas Company
Public Water District #2
GTE Telephone Company
Fort Zumwalt School District
Ottalton Fire Protection District
- No Flood Plain exists on this tract per F.I.R.M. #29183 C 0239 E, dated Aug. 2, 1996.
- Topographic information is per information obtained from Jack H. Tyler.
- Parking Required:
Shopping Center - Five and five-tenths parking spaces for each one thousand square feet gross leasable floor area.
39,930 sq. ft. / 1000 x 5.5 = 220 spaces
parking provided = 243 spaces with 7 handicap spaces
- Site coverage calculations:
Building = 40,020 sq. ft.
Pavement = 121,200 sq. ft.
Green space = 108,028 sq. ft.
- Loading Space Calculation: 5,000 sq. ft. bldg. area = 1 space
1 space for every 20,000 sq. ft. there after
40,020 sq. ft. bldg. area = 3 loading spaces

U.S.G.S. DATUM BENCHMARK
ELEVATION: 816.5 - AT DARDENNE, TOWNSHIP 46 NORTH - RANGE 3 EAST, NEAR APPROXIMATE CORNER OF SECTIONS 1, 2, 11 AND 12, 31 FEET NORTH AND 20 FEET WEST OF CROSSROADS, 49 FEET SOUTH OF SOUTHEAST CORNER OF CATHOLIC CHURCH, 2.0 FEET NORTH OF SIDEWALK, IN CONCRETE POST, STANDARD TABLET STAMPED "T6601936 616"
SITE BENCHMARK: "O" IN OPEN ON FIRE HYDRANT LOCATED ON EAST SIDE OF HIGHWAY "K" ELEVATION: 508.32



PREPARED FOR: SOLON GERSHMAN INC., REALTORS
7 NORTH BEMISTON
ST. LOUIS, MISSOURI 63105
(314) 862-9400



REVISIONS	DATE	BY	COMMENTS
8-12-87	07	STORM REV.	
11-7-87	07	SANITARY REV.	
11-10-87	07	SANITARY REV.	
11-20-87	07	SANITARY REV.	
12-12-87	07	GEN. NOTES/WATER	
1-15-88	08	VARIANCE	



1082 South Clerleaf Drive
St. Peters, MO. 63376-6445
314-928-5552
FAX 928-1718

12-1-97
DATE
97-9176
PROJECT NUMBER
C-1
SHEET OF
9176CON.DWG
FILE NAME
GJD RLF
DRAWN CHECKED

APPROVED
1/10/98
Jan Callup