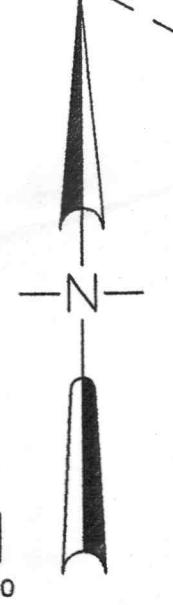
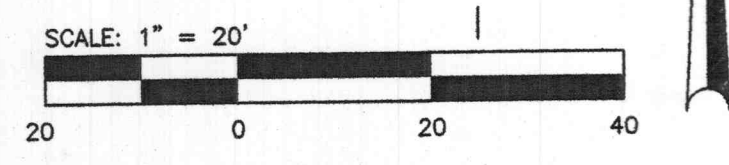


KEY NOTES

- 1 CONCRETE CURB SEE DETAIL 13 SHEET C3.0
- 2 TALL CURB SEE DETAIL 12 SHEET C3.0
- 3 INTEGRAL CURB AND SIDEWALK SEE DETAIL 4 SHEET C3.0
- 4 ASPHALT PAVEMENT SEE DETAIL 1 SHEET C3.0
- 5 HANDICAP RAMP SEE DETAIL 2 SHEET C3.0
- 6 TRASH ENCLOSURE SEE DETAIL 7, 11 SHEET C3.0
- 7 BICYCLE RACK TO HOLD A MIN. 4 BICYCLES
- 8 LANDSCAPE ISLANDS
- 9 MODULAR BLOCK RETAINING WALL WITH FENCE SEE DETAIL 8 SHEET C3.0
- 10 SIGN (WILL REQUIRE SEPARATE SIGN PERMIT)
- 11 HANDICAP PARKING STALLS SEE DETAILS 3 AND 8 SHEET C3.0
- 12 MENU BOARD AND SPEAKER POST
- 13 BOLLARD SEE DETAIL 14 SHEET C3.0
- 14 LIGHT STANDARD
- 15 HEAVY PAVEMENT IN RIGHT OF WAY SEE DETAIL 16 SHEET C3.0
- 16 CONCRETE DRIVE-THRU SEE DETAIL 17 SHEET 3.0
- 17 PAINTED CROSSWALK
- 18 ROUTE TO OUTSIDE OF SITE - 5' WIDE SIDEWALK WITH HANDICAP ACCESS SEE DETAIL 5 SHEET 3.0
- 19 WATER METER WITH SHUT-OFF VALVE SEE DETAIL 15 SHEET 3.0
- 20 PROPOSED LOCATION OF AMEREN UE PAD MTD TRANSFORMER. CONFIRM WITH AMEREN UE DISTRICT ENGINEER.
- 21 PROPOSED WHEEL STOP SEE DETAIL 18 SHEET 3.

GENERAL NOTES

1. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES. CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT. THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT MAY AT THEIR OPTION DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS. ANY DEPOSITION OF SILT OR MUD ON NEW OR EXISTING PAVEMENT SHALL BE REMOVED IMMEDIATELY. ANY DEPOSITION OF SILTS OR MUD IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF O'FALLON AND/OR MODOT.
2. DEVELOPER MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORTS PRIOR TO OR DURING SITE SOIL TESTING.
3. ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER, PROPOSED ROADS, AND/OR PAVED AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL FILL PLACED IN PROPOSED ROADS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS. NOTE THAT THE MOISTURE CONTENT OF THE SOIL IN FILL AREAS IS TO CORRESPOND TO THE COMPACTIVE EFFORT AS DEFINED BY THE STANDARD OR MODIFIED PROCTOR TEST. OPTIMUM MOISTURE CONTENT SHALL BE DETERMINED USING THE SAME TEST THAT WAS USED FOR COMPACTION. SOIL COMPACTION CURVES SHALL BE SUBMITTED TO THE CITY OF O'FALLON PRIOR TO PLACEMENT OF FILL. PROOF ROLLING MAY BE REQUIRED TO VERIFY SOIL STABILITY AT THE DISCRETION OF THE CITY OF O'FALLON.
4. NO SLOPES SHALL BE STEEPER THAN 3:1.
5. ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
6. SIDEWALKS, CURB RAMPS, RAMPS AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.
7. PARKING REQUIREMENTS
ZONING REQUIREMENTS
20 SPACES + 1 PER 100 SQ.FT.
41 SPACES REQUIRED
41 SPACES PROVIDED
(2 HANDICAP SPACES)
12 CAR STACKING REQUIRED
12 CAR STACKING PROVIDED
BUILDING < 5000 SQ.FT.
NO LOADING SPACE REQUIRED
4 BICYCLE SPACES REQUIRED
4 BICYCLE SPACES PROVIDED
8. SETBACKS
FRONT YARD - 25 FEET
SIDE YARD - 0 FEET
REAR YARD - 10 FEET
HEIGHT - 50 FEET MAX.
9. ZONING
EXISTING ZONING - "C2" GENREAL BUSINESS DISTRICT
PROPOSED ZONING - "C2" GENREAL BUSINESS DISTRICT
PROPOSED USAGE - RESTAURANT
10. AREA CALCULATIONS
LOT AREA - 38,768 SQ.FT.
BUILDING - 2100 SQ.FT. (5.4%)
PAVEMENT - 23,179 SQ.FT. (60%)
GREENSPACE - 17,689 SQ.FT. (46%)
11. THIS SITE IS PART OF THE PIDGEON PARK WEST PLAT 2 DEVELOPMENT. DETENTION FOR THIS SITE IS BEING PROVIDED BY THE PIDGEON PARK DEVELOPMENT.
12. LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION.
13. ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
14. ALL SIGN POST AND BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBOLINE RUSTBOND PENETRATING SEALER SG AND CARBOLINE 133HB PAINT (OR EQUIVALENT AS APPROVED BY CITY AND MODOT).
15. ALL EROSION CONTROL SYSTEMS ARE INSPECTED AND NECESSARY CORRECTIONS MADE WITHIN 24 HOURS OF ANY RAINSTORM RESULTING IN ONE-HALF INCH OF RAIN OR MORE.
16. ALL UTILITIES WILL BE LOCATED UNDERGROUND.
17. UTILITY COMPANIES:
CITY OF O'FALLON WATER & SEWER 636-281-2858
AMEREN UE JEFF BUTLER 636-639-8311
LACLEDE GAS GARY DIRKOW 314-658-5417
CHARTER COMMUNICATIONS MARK HOFFMAN 314-441-7737
SOUTHWESTER BELL TELEPHONE JOHN HANCOCK 636-949-1301
18. GREASE TRAP TO BE PROVIDED INSIDE THE BUILDING.
19. HYDRAULIC CALCULATIONS SHOW THAT THERE IS ADEQUATE CAPACITY OF THE OFFSITE STORM SEWER SYSTEM.
20. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS SPECIFIED OTHERWISE
21. ALL ROOFTOP MECHANICAL UNITS WILL BE SCREENED BY A PARAPET WALL, AND GROUND MOUNTED UNITS WILL BE SCREENED WITH MATERIALS AND/OR LANDSCAPING.
22. UTILITIES CROSSING EXISTING STREETS OF COLLECTOR SIZE AND GREATER SHALL BE IN CONDUIT OR CASING PIPE.
23. Traffic Control to be per MUTCD and MODOT standards.



DEVELOPER

D F RESTAURANTS
16647 CHESTERFIELD GROVE ROAD
CHESTERFIELD, MISSOURI 63005

PROPERTY OWNER

PACE PROPERTIES
1401 S. BRENTWOOD BLVD.
ST. LOUIS, MO 63144
PHONE: (314) 968-9898

FLOOD PLAIN INFORMATION

THE SUBJECT PARCEL REFERENCED ABOVE IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29183C0237 E, AUGUST 2, 1996. NO PORTION OF THE SUBJECT PROPERTY FALLS WITHIN THE 100 YEAR FLOOD PLAIN.

BENCHMARK DATUM
MISSOURI STATE HIGHWAY DATUM (USGS-NGVD)
"SQ" ON SOUTHEAST CORNER OF CONCRETE HEADWALL 62' LEFT OF STATION 344+95 ON MISSOURI STATE HIGHWAY "K" ELEVATION = 510.64

6-8-05
APPROVED
as noted

D F RESTAURANTS
LOT 6 OF PIDGEON PARK
WEST PLAT 2
O'FALLON, MISSOURI

Kuhlmann Design Group, Inc.
66 Progress Parkway
St. Louis, Missouri 63043-3706
Tel: (314) 434-8898
St. Louis, Missouri
Baltimore, Illinois
St. Charles, Missouri

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.

STATE OF MISSOURI
GERRALD SCOTT
REGISTERED PROFESSIONAL ENGINEER
NO. 25121
4/11/05

NO.	DATE

PROJECT NO. 040143 CONTRACT NO. 0001
DRAWN WCE CHECKED WCE
DATE 03/22/05

SITE PLAN
SHEET 1 OF 4
C1.0
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Contractor to contact utilities prior to any excavation or demolition for the location of any pipes, cables, lines or mains. The Contractor shall also coordinate any disconnection required with the various utility companies and/or governmental agencies serving the site.
Toll Free 800/344-7483
800-DIG-RITE

FIBER OPTICS PRESENT
CALL MODOT (314-340-4100) FOR UTILITY LOCATES IN R.O.W. PRIOR TO EXCAVATION WORK

CITY OF O'FALLON
P&Z #5604