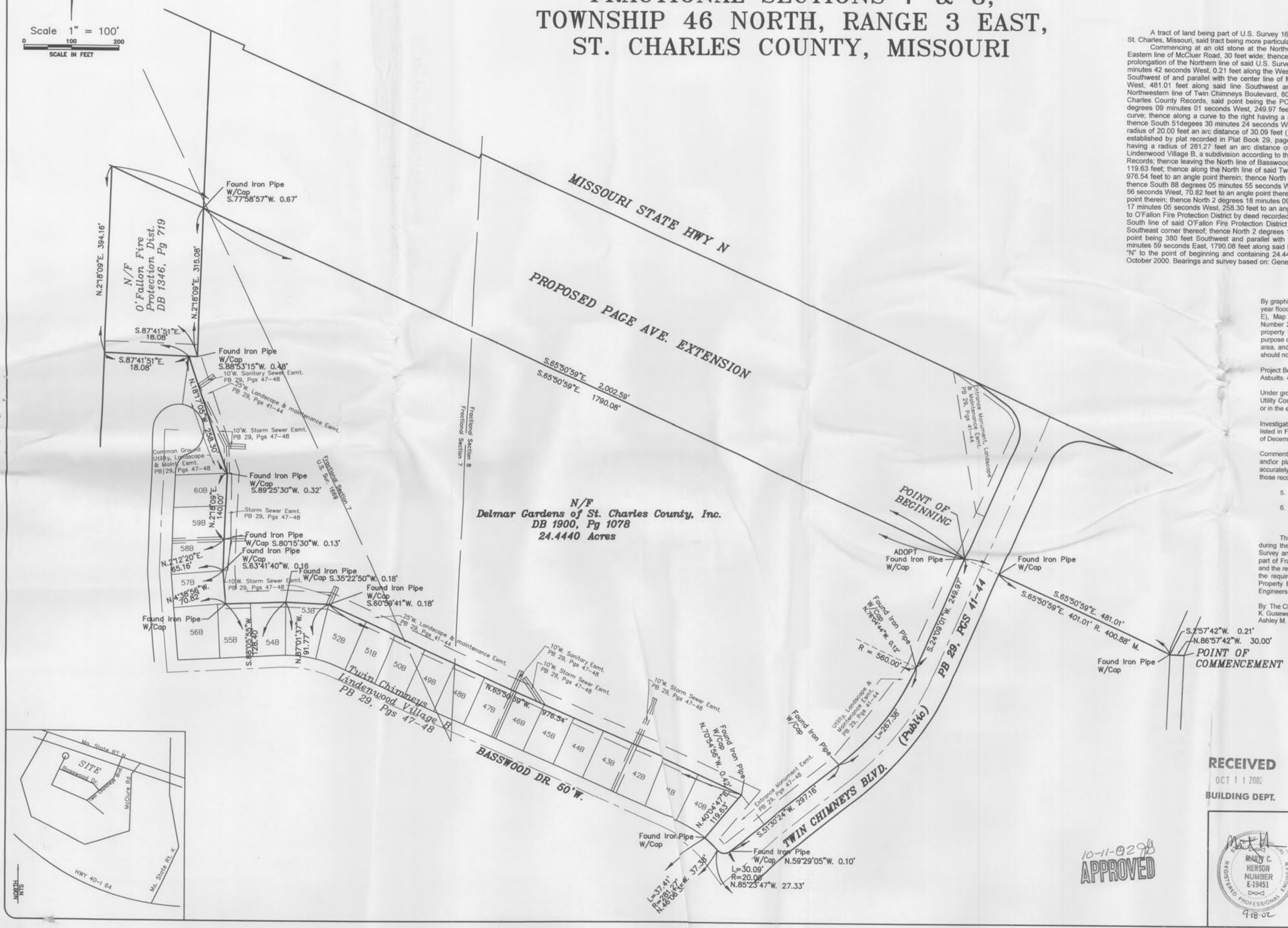
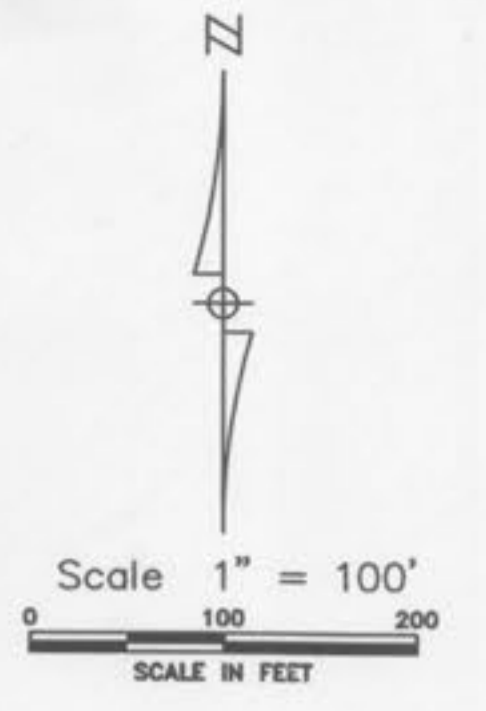


# A TRACT OF LAND BEING PART OF U.S. SURVEY 1669, AND FRACTIONAL SECTIONS 7 & 8, TOWNSHIP 46 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI



**PROPERTY DESCRIPTION**

A tract of land being part of U.S. Survey 1669 and part of Fractional Sections 7 and 8, Township 46 North, Range 3 East, St. Charles, Missouri, said tract being more particularly described:

Commencing at an old stone at the Northwest corner of U.S. Survey 3225, said stone being at an angle point on the Eastern line of McCluer Road, 30 feet wide; thence North 86 degrees 49 minutes 19 seconds West, 30.00 feet along the Western prolongation of the Northern line of said U.S. Survey 3225 to the Western line of said McCluer Road; thence South 2 degrees 57 minutes 42 seconds West, 0.21 feet along the Western line of said McCluer Road to its intersection with a line distant 380.00 feet Southwest of and parallel with the center line of Missouri State Highway "N"; thence North 65 degrees 50 minutes 59 seconds West, 481.01 feet along said line Southwest and parallel with the center line of said Missouri State Highway "N" to the Northwestern line of Twin Chimneys Boulevard, 90 feet wide established by plat recorded in Plat Book 29, pages 41-44 of the St. Charles County Records, said point being the POINT OF BEGINNING of the tract of land herein described; thence South 24 degrees 09 minutes 01 seconds West, 249.97 feet along the Northwestern line of said Twin Chimneys Boulevard to a point of curve; thence along a curve to the right having a radius of 560.00 feet an arc distance of 267.38 feet to the point of tangency; thence South 51 degrees 30 minutes 24 seconds West, 297.16 feet to a point of curve; thence along a curve to the right having a radius of 20.00 feet an arc distance of 30.09 feet ( $\Delta = 86^{\circ}11'37''$ ) to a point on the North line of Basswood Drive, 50 feet wide, as established by plat recorded in Plat Book 29, pages 47-48 of the St. Charles County Records; thence along a curve to the left having a radius of 281.27 feet an arc distance of 37.41 feet ( $\Delta = 7^{\circ}37'11''$ ) to a point on the Eastern line of Twin Chimneys Lindenwood Village B, a subdivision according to the plat thereof recorded in Plat Book 29, pages 47-48 of the St. Charles County Records; thence leaving the North line of Basswood Drive along said Eastern line, North 40 degrees 04 minutes 47 seconds East, 119.63 feet; thence along the North line of said Twin Chimneys Lindenwood Village B, 65 degrees 50 minutes 59 seconds West, 976.54 feet to an angle point therein; thence North 87 degrees 01 minutes 37 seconds West, 91.77 feet to an angle point therein; thence South 88 degrees 05 minutes 55 seconds West, 128.40 feet to an angle point therein; thence North 4 degrees 38 minutes 55 seconds West, 70.82 feet to an angle point therein; thence North 2 degrees 12 minutes 20 seconds East, 65.16 feet to an angle point therein; thence North 2 degrees 18 minutes 09 seconds East, 140.00 feet to an angle point therein; thence North 18 degrees 17 minutes 05 seconds West, 258.30 feet to an angle point therein, said point being on the South line of a tract of land conveyed to O'Fallon Fire Protection District by deed recorded in Book 1346, page 719 of the St. Charles County Records; thence along the South line of said O'Fallon Fire Protection District property, South 87 degrees 41 minutes 51 seconds East, 18.08 feet, to the Southeast corner thereof; thence North 2 degrees 18 minutes 09 seconds East, 315.08 feet to the Northeast corner thereof, said point being 380 feet Southwest and parallel with the center line of Missouri State Highway "N"; thence South 65 degrees 50 minutes 59 seconds East, 1790.08 feet along said line Southwest and parallel with the center line of said Missouri State Highway "N" to the point of beginning and containing 24.4440 acres) according to survey made by The Clayton Engineering Company October 2000. Bearings and survey based on: General Warranty Deed recorded in Book 1900, page 1078.

**GENERAL NOTES**

By graphic plotting only, this property is in Zone "X" (an area defined as being outside the 500 year flood plain limits) of Flood Insurance Rate Map (Community Panel Number 290899-0239-E), Map Number 29189C0240-E, and (Community Panel Number 290899-0240-E), Map Number 29189C0240-E, effective date: August 2, 1995, except a small portion along south property line that is within the 500 year flood limits as shown hereon. This note is for the purpose of providing information as indicated on the current Flood Insurance Rate Map for this area, and should not be construed as an indication as to whether flood insurance should, or should not be purchased.

Project Benchmark: Top of sanitary manhole, 544.92' (USGS) per Duckett Creek Sewer Asbuilts, 40 feet northwest of rear lot corner 46B/47B.

Under ground utilities shown hereon have been plotted from maps provided by the respective Utility Companies and are not certified by The Clayton Engineering Company to be complete or in the exact location shown.

Investigation of recorded easements, restrictions and covenants has been limited to those listed in First American Title Insurance Company Commitment No. CP5545512. Effective Date of December 27, 2000. Issued by Emmons Title Company of St. Charles.

Comments to Schedule B Section 2 Exceptions are based solely on the property descriptions and/or plats contained in the referenced document. Easements are graphically plotted as accurately as information in referenced document permits. All calls to Deeds and Plats are for those recorded in the St. Charles County Records.

5. Indenture of Trust for Twin Chimneys according to instrument recorded in Book 1253, page 156 pertains to the subject property.
6. Easements and restrictions according to Twin Chimneys Roadway and Easement Plat recorded in Plat Book 29, pages 41-44 pertain to the subject property.

This is to certify that we have, at the request of Delmar Gardens Enterprises, Inc. during the Month of October, 2000, executed a Property Boundary Survey, a Topographic Survey and located the improvements of a tract of land being part of U.S. Survey 1669 and part of Fractional Sections 7 and 8, Township 46 North, Range 3 East, St. Charles, Missouri and the results of said Survey are shown on this plat. Survey was executed in accordance with the requirements for Urban Property as defined by the Missouri Minimum Standards for Property Boundary Surveys, established by the Missouri Board for Architects, Professional Engineers and Land Surveyors 4 CSR 30-16. Survey and Bearings based on aforesaid

By: The Clayton Engineering Company  
K. Gusewelle, Deputy  
Ashley M. Hoover, Mo. Reg. L.S.#2188

REVISIONS	
<b>DELMAR GARDENS OF ST. CHARLES COUNTY, INC. O'FALLON, MISSOURI</b>	
<b>DELMAR GARDENS ENTERPRISES, INC. 101 SOUTH HANLEY, SUITE 1800 ST. LOUIS, MISSOURI 63105 (314) 862-0045 Fax 862-1434</b>	
 the clayton engineering company, inc. ENGINEERS • SURVEYORS • PLANNERS 11920 WESTLINE INDUSTRIAL DRIVE ST. LOUIS, MISSOURI 63146 (314) 692-8888 FAX: (314) 692-8688 clayton-engineering.com	Designed _____ Drawn _____ Checked _____ Date 05/21/02 Project Number <b>00228</b> Sheet Number _____ <b>C-1 of 16</b>
RECEIVED OCT 11 2002 BUILDING DEPT.	FILE C:\00228\SURVEYS\BNDY.DWG PLOTTED 09/18/02 09:16 F.S. 00228 T.B. SUR.

10-11-0208  
**APPROVED**

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