

A SITE PLAN FOR DEVELOPMENTAL LEARNING CENTER

A TRACT OF LAND BEING PART OF THE
NORTHEAST QUARTER OF FRACTIONAL SECTION 20,
TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI
CITY OF O'FALLON

GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST." (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL, AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST." (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- SILTATION CONTROL TO BE PROVIDED AS DIRECTED BY THE CITY OF O'FALLON.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, PLANTER DETAILS, SERVICE CONNECTIONS, DETAILS, ETC. *(I don't have them in file)*
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY INFORMATION IS AS PER RECORD INFORMATION AND IS SUBJECT TO CHANGE UPON EXECUTION OF A BOUNDARY SURVEY.
- A BACKFLOW PREVENTER IS REQUIRED INSIDE THE BUILDING ON THE WATER SERVICE LINE.
- A FENCE PERMIT WILL NEED TO BE APPLIED FOR AND OBTAINED PRIOR TO CONSTRUCTION OF ANY FENCE.
- THERE IS NO FLOOD PLAIN ON THIS SITE PER F.I.R.M. NO.2918300120 D DATED: DECEMBER 15, 1992. *Reference 1996 FIRM map.*
- SEE ARCHITECTURAL PLANS FOR THE LOCATION AND SPECIFICATIONS FOR THE BUILDING LIGHTING.
- MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:

STREET TREES:	282 L.F.	= 7 TREES
	1 TREE / 40 L.F.	
ADDITIONAL TREES:	11,343 S.F. OPEN SPACE	= 3 TREES
	1 TREE / 3,000 S.F.	
TOTAL REQUIRED: 10 TREES		
- TOTAL TREES PROPOSED: 25 TREES
- ALL PROPOSED TREES SHOWN SHALL BE DECIDUOUS HARDWOOD SPECIES (2" MINIMUM CALIPER) AND SHALL CONFORM TO THE TREE PRESERVATION ORDINANCE.
- EXISTING OWNER: DEVELOPMENTAL LEARNING CENTER
304 WAVERLY PLACE
WENTZVILLE, MISSOURI 63385
PHONE: (314) 332-5058

PREPARED FOR:
DEVELOPMENTAL LEARNING CENTER
304 WAVERLY PLACE
WENTZVILLE, MO 63385
(314) 332-5058

Site Plan
10/25/96
THX Colleen

DISCLAIMER OF RESPONSIBILITY
I hereby certify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.

All we have no building elevations in the file

REVISIONS

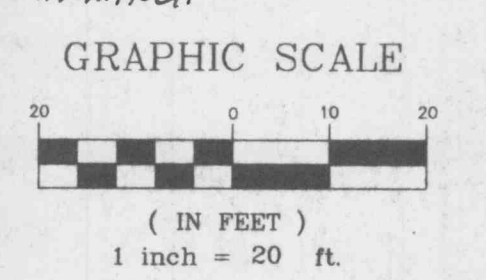
DATE	REVISION
8-16-96	REVISION
9-10-96	REVISION
9-20-96	TRANSITION TO 5'
9-25-96	REVISION
9-30-96	WATER & SAN. REV.
10-14-96	VARIANCE REVISIONS

REFERENCE BENCHMARK

U.S.G.S. BENCHMARK ELEVATION=542.88
STANDARD DISK ON TRAFFIC SIGNAL AT THE SOUTHEAST CORNER OF ST. MARY INSTITUTE

SITE BENCHMARK

CUT BOX ON SIGNAL BASE, N.W. CORNER OF ROUTE W & TOM GINNEVER AVE.
ELEVATION = 528.22
*Compared to site plan approved by P&Z
① One tree has been added 9-28-96
to the total proposed.
② 3 parking space have been eliminated.
③ Access to cypress Dr. has been eliminated.*



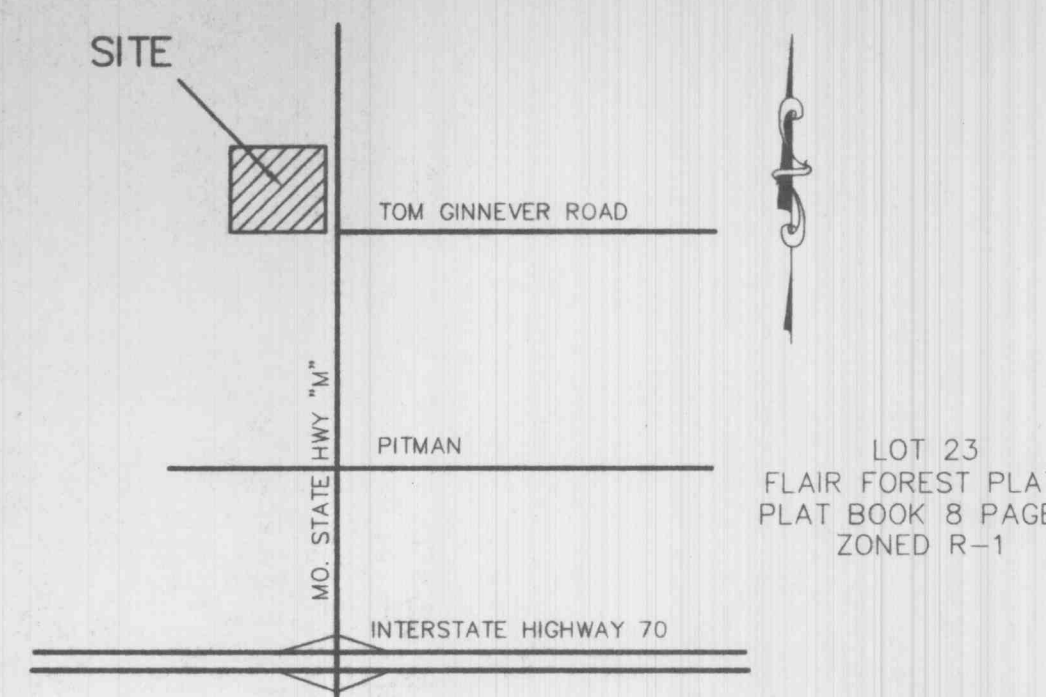
BA

ENGINEERING
PLANNING
SURVEYING

1052 South Cloverleaf Drive
St. Peters, MO. 63376-6445
314-928-5552
FAX 928-1718

OCTOBER, 1995
DATE
95-7092
PROJECT NUMBER
1 OF 3
SHEET OF
7092CON
FILE NAME
DJB RLF
DRAWN CHECKED

LOCATION MAP

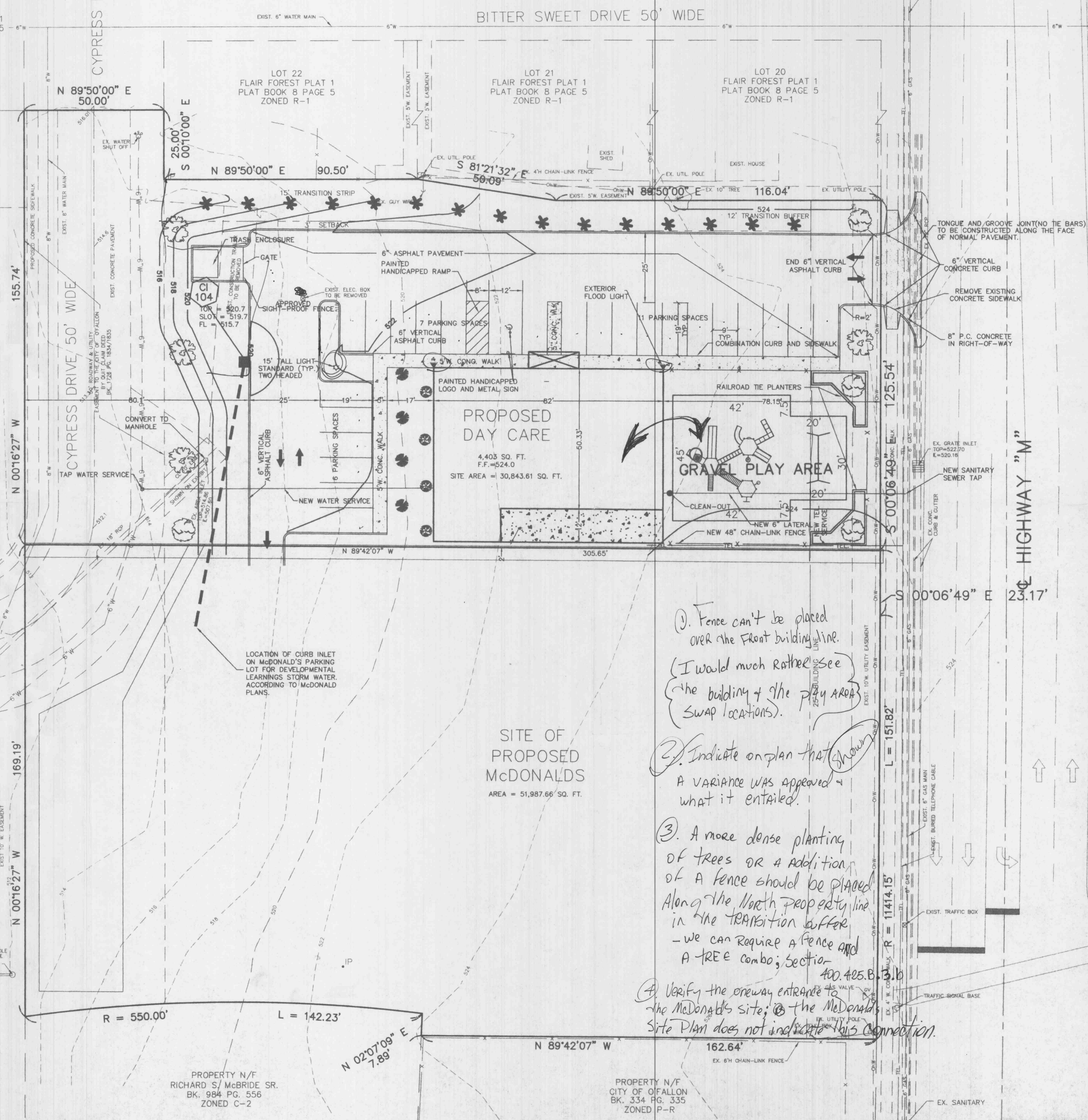


DEVELOPMENT NOTES

- AREA OF TRACT: 0.71 ACRES
- PROPOSED ZONING: C-2 GENERAL BUSINESS DISTRICT
- PROPOSED USE: 1 STORY DAYCARE CENTER (4400 S.F.)
- SITE IS SERVED BY: CITY OF O'FALLON WATER UNION ELECTRIC CO. ST. CHARLES GAS CO. GTE TELEPHONE CO. CITY OF O'FALLON SEWERS O'FALLON FIRE PROTECTION DIST.
- PARKING REQUIRED:
 - NUMBER OF PUPILS = 90 / 10 = 9 SPACES
 - NUMBER OF TEACHERS = 10 / 1 = 10 SPACES
 - TOTAL PARKING SPACES REQUIRED = 20 SPACES
- TOTAL PARKING SPACES PROVIDED = 24 SPACES
- BUILDING SETBACKS: FRONT YARD 25 FEET, SIDE YARD 6 FEET, NORTH PROPERTY LINE REAR YARD 10 FEET

LANDSCAPE LEGEND

- 2" CALIPER "MAPLE" (4 EACH)
- 2" CALIPER "SWEETGUM" (6 EACH)
- 6' TALL "PINE" (15 EACH)
- 2' TALL "COTTON EASTER" (4 EACH)
- 3' TALL "BARBERRY" (4 EACH)



① Fence can't be placed over the front building line. (I would much rather see the building & the play area swap locations).

② Indicate on plan that show a variance was appeared & what it entailed.

③ A more dense planting of trees or a addition of a fence should be placed along the north property line in the transition buffer - we can require a fence and a tree combo; section 400.425.B.3.b

④ Verify the oneway entrance to the McDonald's site; the McDonald's Site Plan does not indicate this connection.