

DEVELOPMENTAL LEARNING CENTER

A TRACT OF LAND BEING PART OF THE
NORTHEAST QUARTER OF FRACTIONAL SECTION 20,
TOWNSHIP 47 NORTH, RANGE 3 EAST, ST. CHARLES COUNTY, MISSOURI
CITY OF O'FALLON

GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-190 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-190 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- SILTATION CONTROL TO BE PROVIDED AS DIRECTED BY THE CITY OF O'FALLON.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, PLANTER DETAILS SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- BOUNDARY INFORMATION IS AS PER RECORD INFORMATION AND IS SUBJECT TO CHANGE UPON EXECUTION OF A BOUNDARY SURVEY.
- A BACKFLOW PREVENTER IS REQUIRED INSIDE THE BUILDING ON THE WATER SERVICE LINE.
- A FENCE PERMIT WILL NEED TO BE APPLIED FOR AND OBTAINED PRIOR TO CONSTRUCTION OF ANY FENCE.
- THERE IS NO FLOOD PLAIN ON THIS SITE, PER F.I.R.M. NO.29183CD120 D DATED: DECEMBER 15, 1992.
- SEE ARCHITECTURAL PLANS FOR THE LOCATION AND SPECIFICATIONS FOR THE BUILDING LIGHTING.
- MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:

STREET TREES:	282 L.F.	= 7 TREES
	1 TREE / 40 L.F.	
ADDITIONAL TREES:	11,343 S.F. OPEN SPACE	= 3 TREES
	1 TREE / 3,000 S.F.	
TOTAL REQUIRED: 10 TREES		
- TOTAL TREES PROPOSED: 25 TREES
- ALL PROPOSED TREES SHOWN SHALL BE DECIDUOUS HARDWOOD SPECIES (2" MINIMUM CALIPER) AND SHALL CONFORM TO THE TREE PRESERVATION ORDINANCE.
- EXISTING OWNER: DEVELOPMENTAL LEARNING CENTER
304 WAVERLY PLACE
WENTZVILLE, MISSOURI 63385
PHONE: (314) 332-5058

PREPARED FOR: DEVELOPMENTAL LEARNING CENTER
304 WAVERLY PLACE
WENTZVILLE, MO 63385
(314) 332-5058

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REVISIONS

DATE	REVISION
8-16-96	REVISION
9-10-96	REVISION
9-20-96	TRANSITION TO 5'
9-25-96	REVISION
9-30-96	WATER & SAN. REV.
10-17-96	VARIANCE REVISIONS
10-18-96	CITY COMMENTS

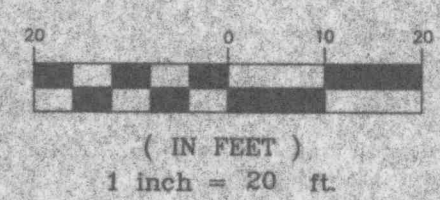
REFERENCE BENCHMARK

U.S.G.S. BENCHMARK ELEVATION=542.88
STANDARD DISK ON TRAFFIC SIGNAL AT THE SOUTHEAST CORNER OF ST. MARY INSTITUTE

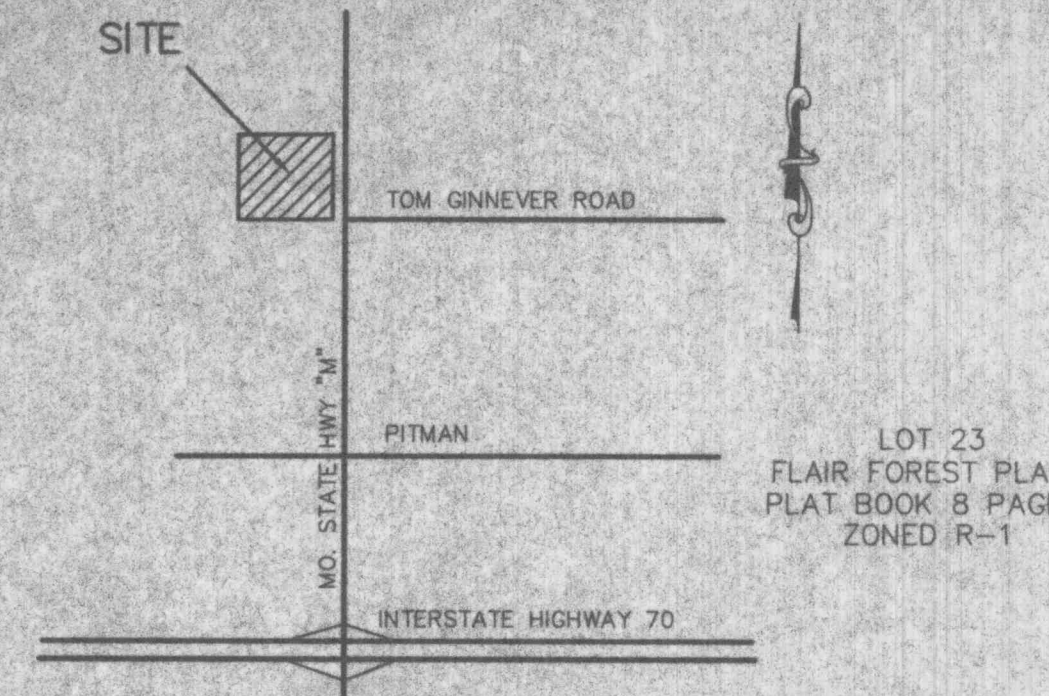
SITE BENCHMARK

CUT BOX ON SIGNAL BASE, N.W. CORNER OF ROUTE M & TOM GINNEVER AVE.
ELEVATION = 528.22

GRAPHIC SCALE



LOCATION MAP

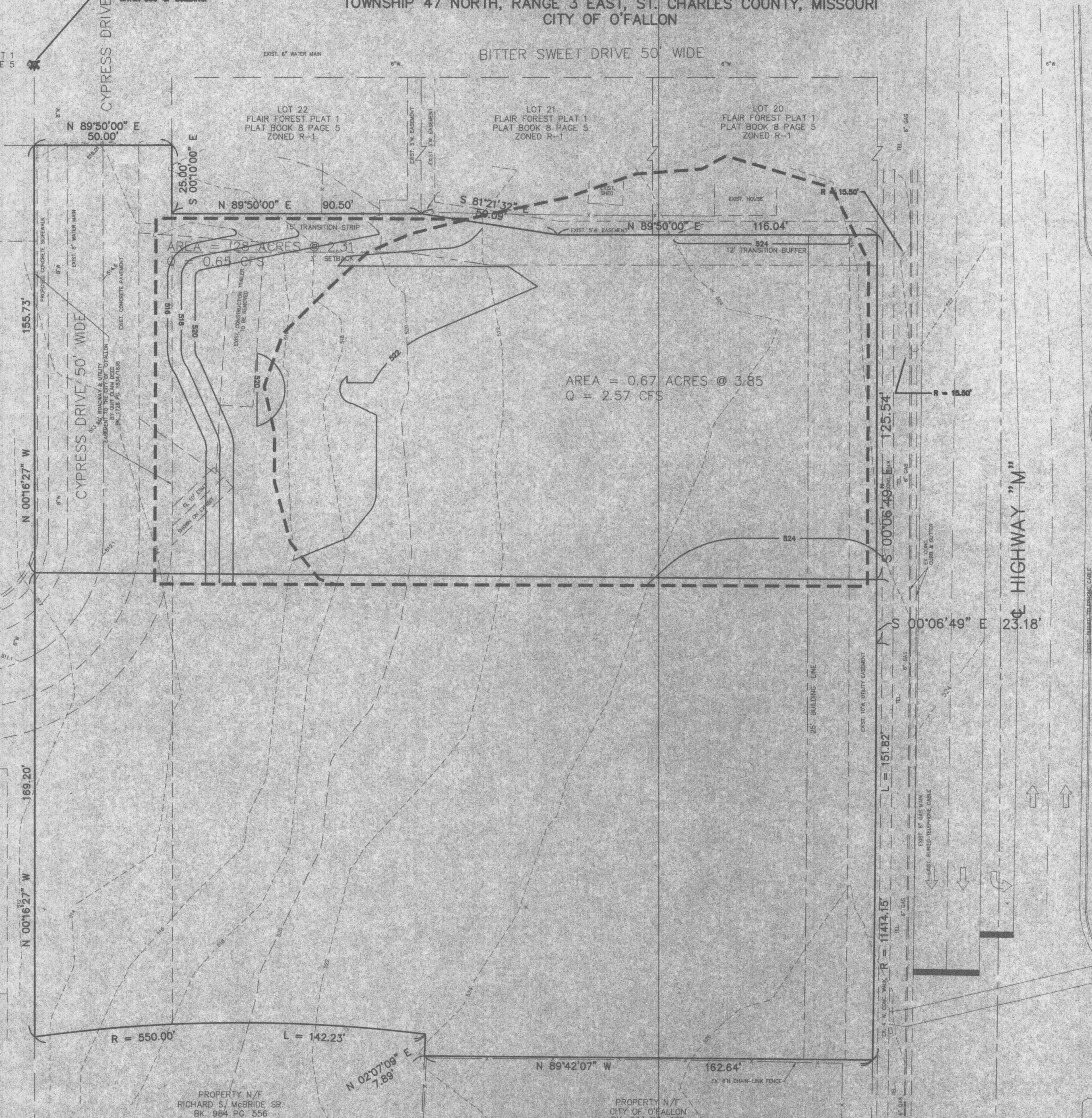


DEVELOPMENT NOTES

- AREA OF TRACT: 0.71 ACRES
- PROPOSED ZONING: C-2 GENERAL BUSINESS DISTRICT
- PROPOSED USE: 1 STORY DAYCARE CENTER (4400 S.F.)
- SITE IS SERVED BY: CITY OF O'FALLON WATER
UNION ELECTRIC CO.
ST. CHARLES GAS CO.
CTE TELEPHONE CO.
CITY OF O'FALLON SEWERS
O'FALLON FIRE PROTECTION DIST.
- PARKING REQUIRED:
NUMBER OF PUPILS = 90 / 10 = 9 SPACES
NUMBER OF TEACHERS = 10 / 1 = 10 SPACES
TOTAL PARKING SPACES REQUIRED = 20 SPACES
- TOTAL PARKING SPACES PROVIDED = 24 SPACES
- BUILDING SETBACKS: FRONT YARD 25 FEET
SIDE YARD 6 FEET
REAR YARD 10 FEET

GRANTED VARIANCE: FROM MAIN STREET WESTWARD 141 FEET.
A 12-FOOT TRANSITION BUFFER WILL BE MAINTAINED; AND, FROM THIS POINT TO CYPRESS DRIVE, A 15-FOOT TRANSITION STRIP AND A 3-FOOT SIDE YARD SETBACK WILL BE MAINTAINED ALONG NORTH PROPERTY LINE.
VARIANCE GRANTED BY O'FALLON BOARD OF ADJUSTMENT 10-10-1998

LANDSCAPE LEGEND



10-17-96
DATE
95-7092
PROJECT NUMBER
3 OF 3
SHEET OF
7092CON
FILE NAME
DJB RLF
DRAWN CHECKED