

"HOMEFIELD VILLAS AND TOWNHOMES"
 P.B. 46 PG. 291
 PROPERTY N/F
 HOMEFIELD VILLAS LLC
 5.319/1958
 PARCEL ID: 2-0140-A714-00-002A.0000000
 CITY OF O'FALLON
 ZONED: R-4

EXPOSED FOUNDATION
 ALONG WEST FACE
 TRACT 2
 1.620 ACRES
 70,536 SQ. FT.
 PROPERTY N/F
 TERRY A. & SUSAN G.
 OHMS REVOCABLE TRUST
 DOC #0021-38704
 CITY OF ST. O'FALLON
 ZONED: C-2
 BEGIN
 EXPOSED
 FOUNDATION
 PROPOSED BUILDING
 10,670 SQ. FT.
 FF=510.20
 PROPOSED BUILDING
 10,670 SQ. FT.

LOT 1
 "CROSSINGS INDUSTRIAL"
 P.B. 44 PG. 271
 PROPERTY N/F
 BANK OF OLD MONROE
 PARCEL ID: 2-0140-A345-00-0001.0000000
 CITY OF O'FALLON
 ZONED: C-2

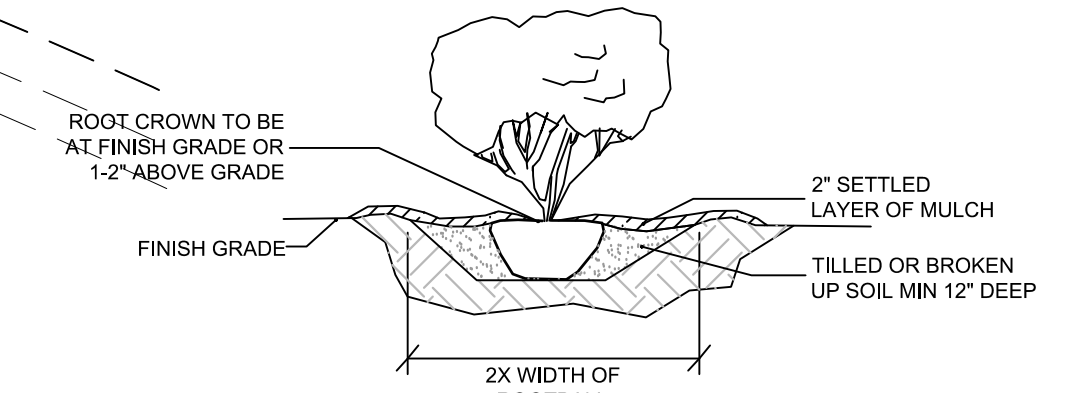
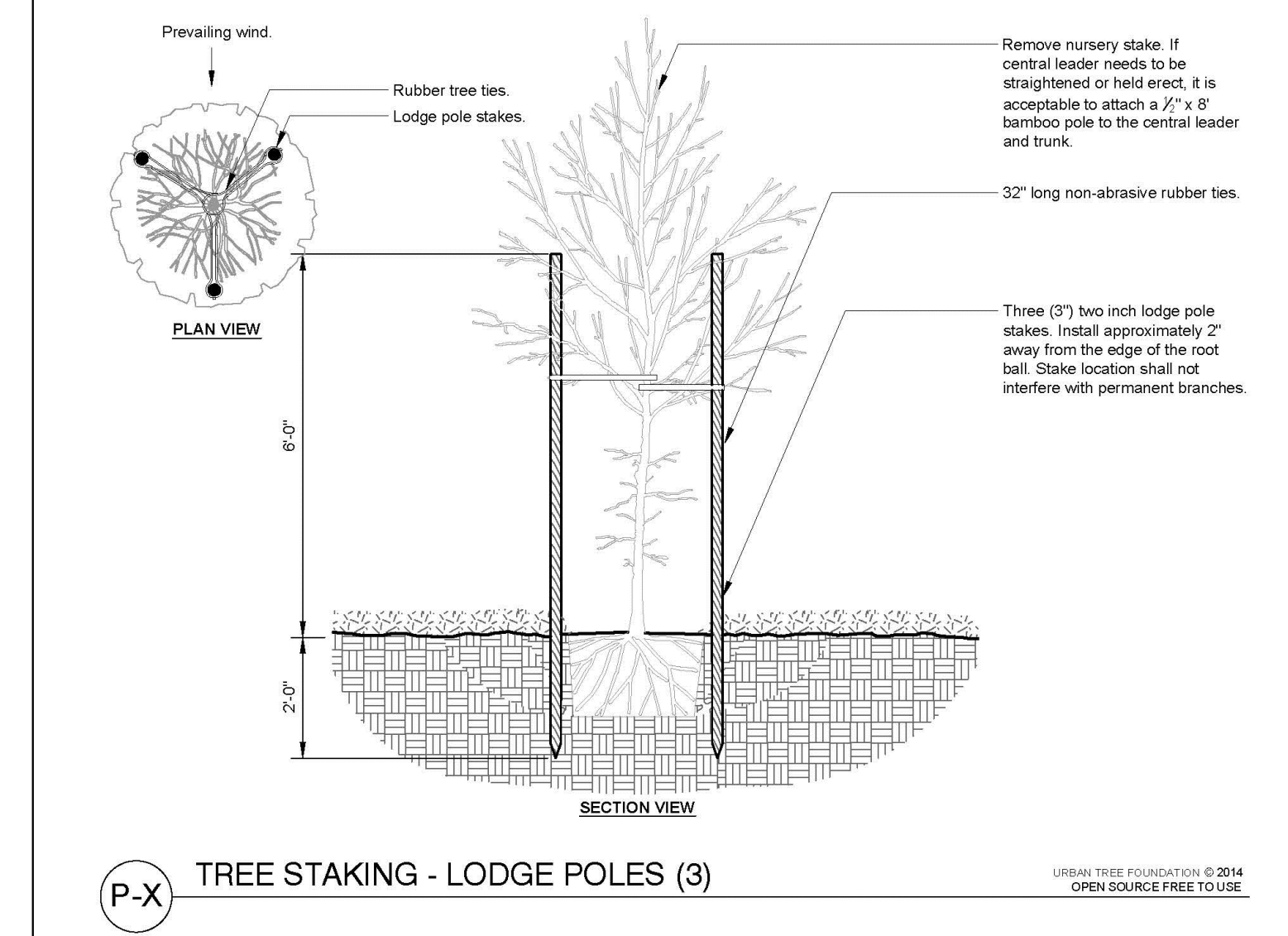
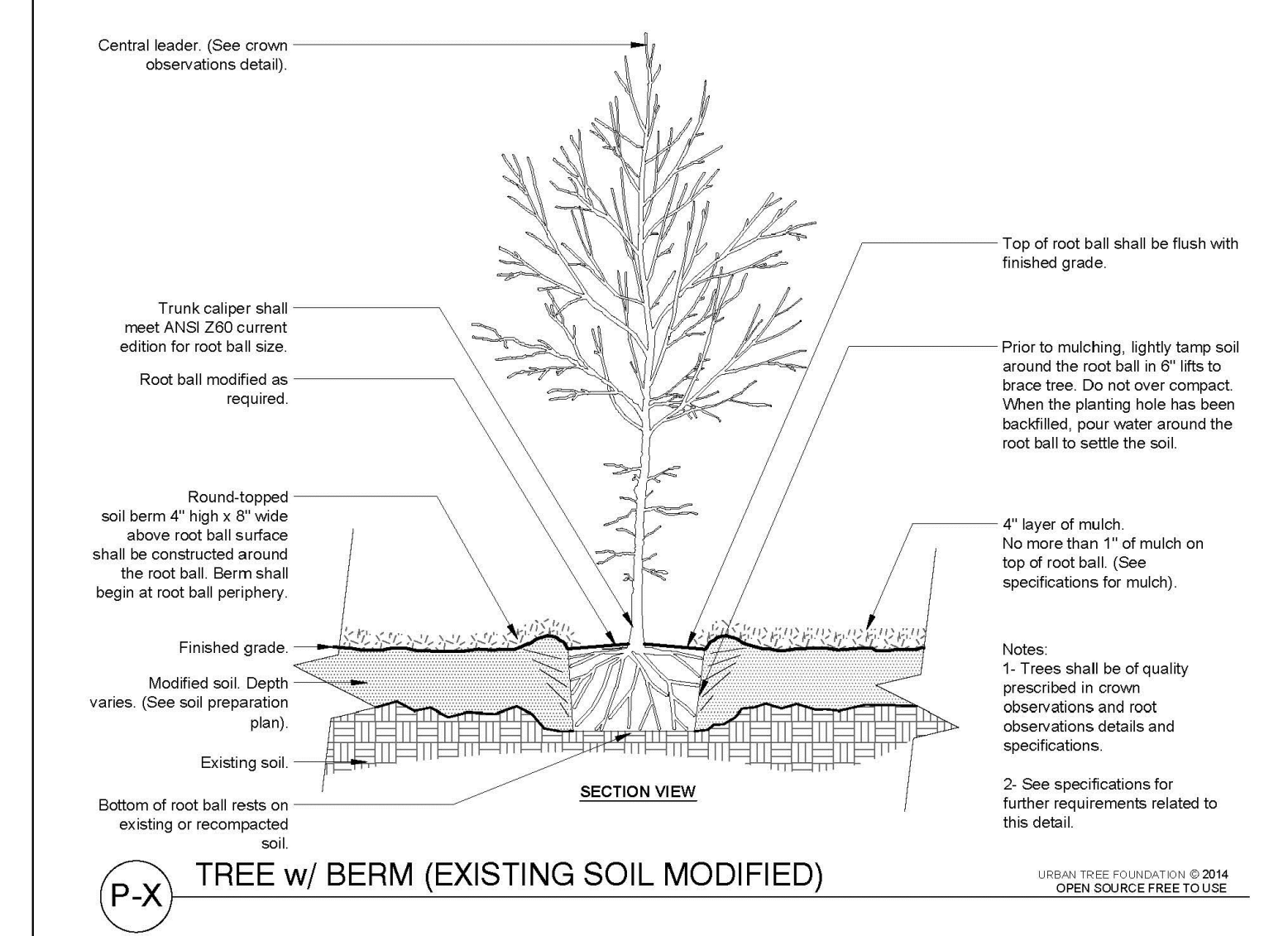
LOT 3
 "CROSSINGS INDUSTRIAL"
 P.B. 44 PG. 271
 PROPERTY N/F
 THE BAKER FAMILY COMPANY
 PARCEL ID: 2-0140-A345-00-0003.0000000
 CITY OF O'FALLON
 ZONED: C-2

Landscape Legend

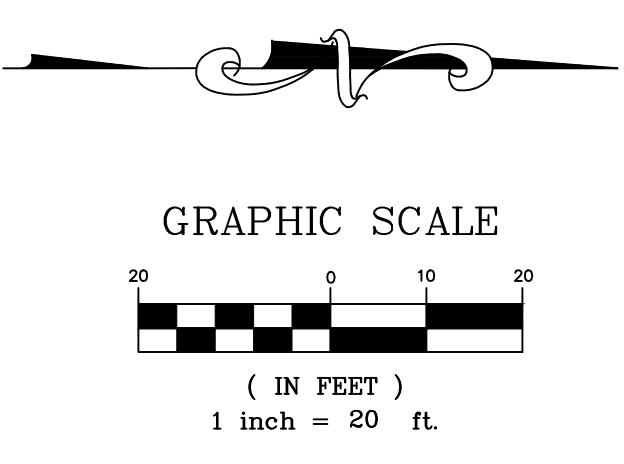
	QTY. (11) RED MAPLE	ACER RUBRUM 'ARMSTRONG'	MINIMUM 2" CALIPER (MATURE HEIGHT = 20-30 FT.)
	QTY. (7) WHITE PINE	PINUS STROBUS 'FASTIGIATA'	MINIMUM 6' HEIGHT (MATURE HEIGHT = 30-40 FT.)
	QTY. (1) PINK PRINCESS CRABAPPLE	MALUS 'PINK PRINCESS'	MINIMUM 2" CALIPER (MATURE HEIGHT = 6-8 FT.)
	QTY. (3) CHINESE JUNIPER	JUNIPERUS X PFITZERIANA 'SEA GREEN'	MINIMUM 5 GALLON (MIN. HEIGHT = 18 INCHES)
	QTY. (1) EXISTING TREE		

ALL TREES SHALL BE DECIDUOUS AT MIN. CALIPER MEASURED 1 FOOT ABOVE GRADE AT 2 INCHES.
 LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER.
 ALL SHRUBS SHALL BE 5 GALLON CONTAINER AND NOT LESS THAN 18 INCHES IN HEIGHT.

20' BUFFER YARD REQUIREMENT: 2 PLANT UNITS PER 100 FEET OF BUFFER FRONTAGE
 1 PLANT UNIT = 30 POINTS
 1 EVERGREEN = 10 POINTS
 114/91 FT./100 FT. X 2 PLANT UNITS = 2.30 PLANT UNITS
 2.30 PLANT UNITS X 30 POINTS = 69 POINTS
 69/10 POINTS X 1 EVERGREEN = 7 EVERGREEN TREES



- NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE
1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
 2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
 3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
 4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
 5. IF B&B PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
 6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
 7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.



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 1-800-DIG-RITE

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

PROJECT TITLE:
CONSTRUCTION PLANS FOR
Dollar General
395 TR Hughes Boulevard
O'Fallon, MO 63366

ENGINEERING
PLANNING
SURVEYING

221 Point View Blvd.
 St. Charles, MO 63301
 636-928-5562
 FAX 928-1718

DECLARATION OF RESPONSIBILITY
 I hereby specify that the documents intended to be authorized by my seal are limited to the above, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any project other than the architectural or engineering project specified above.

07/11/23
 David Walker
 Civil Engineer
 2007020343
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REVISIONS	
12-21-22	CITY COMMENTS
01-04-23	CITY COMMENTS
01-06-23	CITY COMMENTS
05-03-23	DG REVISIONS
05-17-23	CITY COMMENTS
07-11-23	4' HIGH FENCE

Developer / Owner:
 DG Partners L.L.C.
 5330 Salt River Road
 St. Peters, MO 63376
 (636) 970-0330

P+Z No. 22-009150
Approved: 10-06-22

City No. #

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LANDSCAPE PLAN