

GRADING NOTES

- A Geotechnical Engineer shall be employed by the owner and be on site during grading operations. All soils tests shall be verified by the Geotechnical Engineer concurrent with the grading and backfilling operations.
- The grading contractor shall perform a complete grading and compaction operation as shown on the plans, stated in these notes, or reasonably implied therefrom, all in accordance with the plans and notes as interpreted by the Geotechnical Engineer.
- The Contractor shall notify the Soils Engineer at least two days in advance of the start of the grading operation.
- All areas shall be allowed to drain. All low points shall be provided with temporary ditches.
- A sediment control plan that includes monitored and maintained sediment control basins and/or straw bales should be implemented as soon as possible. No graded area is to be allowed to remain bare without being seeded and mulched. Care should be exercised to prevent soil from damaging adjacent property and silting up existing downstream storm drainage system.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site.
- All trash and debris on site, either existing or from construction, must be removed and properly disposed of off-site.
- Soft soil in the bottom and banks of any existing or former pond sites or tributaries or on any sediment basins or traps should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer locations.
- Site preparation includes the clearance of all stumps, trees, bushes, shrubs, and weeds; the grubbing and removal of roots and other surface obstructions from the site; and the demolition and removal of any man-made structures. The material shall be properly disposed of off-site. Topsoil and grass in the fill areas shall be thoroughly disced prior to the placement of any fill. The Soils Engineer shall approve the discing operation.
- Compaction equipment shall consist of tamping rollers, pneumatic-tired rollers, vibratory roller, or high speed impact type drum rollers acceptable to the Soils Engineer. The roller shall be designed so as to avoid the creation of a layered fill without proper blending of successive fill layers.
- The Soils Engineer shall observe and test the placement of the fill to verify that specifications are met. A series of fill density tests will be determined on each lift of fill. Interim reports showing fill quality will be made to the Owner at regular intervals.
- The Soils Engineer shall notify the Contractor of rejection of a lift of fill or portion thereof. The Contractor shall rework the rejected portion of fill and obtain notification from the Soils Engineer of its acceptance prior to the placement of additional fill.
- All areas to receive fill shall be scarified to a depth of not less than 6 inches and then compacted in accordance with the specifications given below. Natural slopes steeper than 1 vertical to 5 horizontal to receive fill shall have horizontal benches, cut into the slopes before the placement of any fill. The width and height to be determined by the Soils Engineer. The fill shall be loosely placed in horizontal layers not exceeding 8 inches in thickness and compacted in accordance with the specifications given below. The Soils Engineer shall be responsible for determining the acceptability of soils placed. Any unacceptable soils placed shall be removed at the Contractor's expense.
- The sequence of operation in the fill areas will be fill, compact, verify acceptable soil density, and repetition of the sequence. The acceptable moisture contents during the filling operation are those at which satisfactory dry densities can be obtained. The acceptable moisture contents during the filling operation in the remaining areas are from 2 to 8 percent above the optimum moisture content.
- The surface of the fill shall be finished so that it will not impound water. If at the end of a days work it would appear that there may be rain prior to the next working day, the surface shall be finished smooth. If the surface has been finished smooth for any reason, it shall be scarified before proceeding with the placement of succeeding lifts. Fill shall not be placed on frozen ground, nor shall filling operations continue when the temperature is such as to permit the layer under placement to freeze.
- Fill and backfill should be compacted to the criteria specified in the following table:

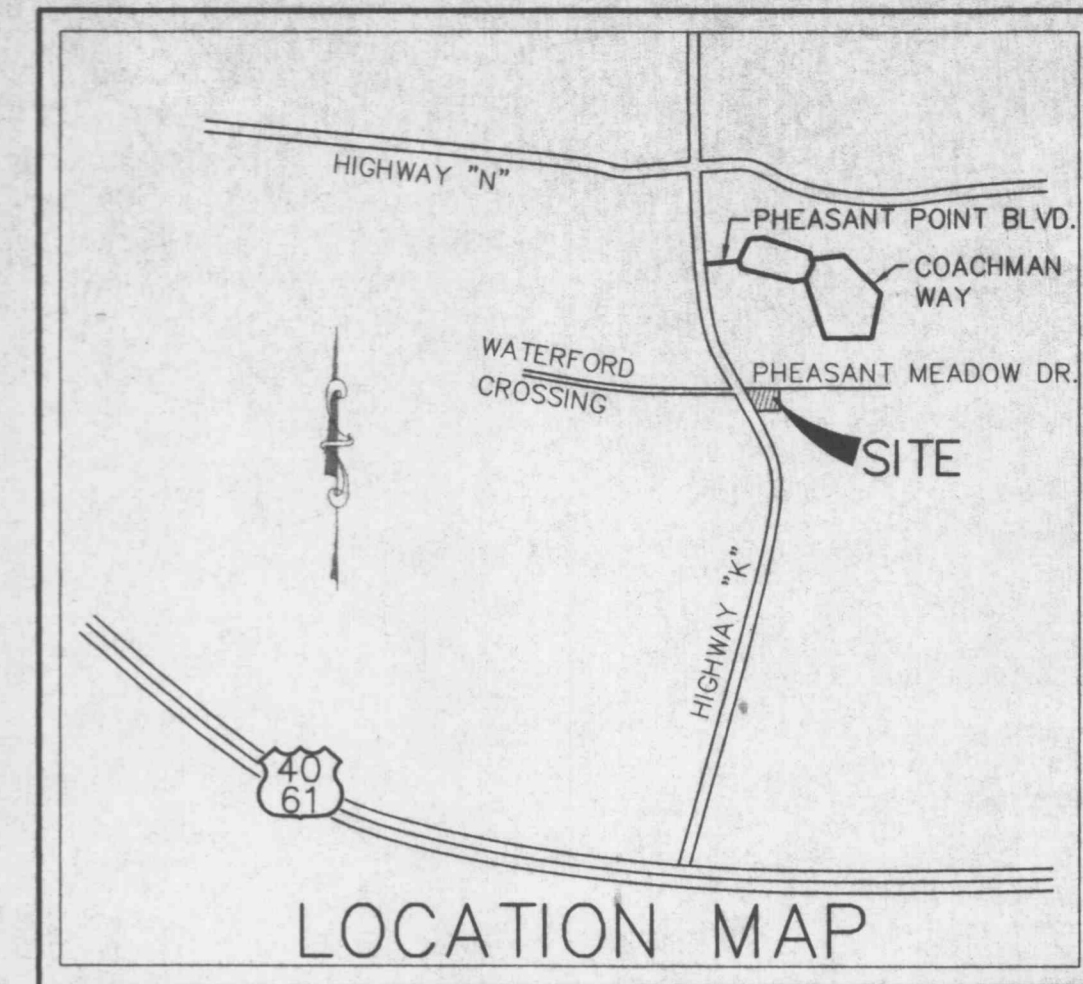
CATEGORY	MINIMUM PERCENT COMPACTION
Fill in building areas below footings	90%
Fill under slabs, walks, and pavement	90%
Fill other than building areas	88%
Natural subgrade	88%
Pavement subgrade	90%
Pavement base course	90%

Measured as a percent of the maximum dry density as determined by modified Proctor Test (ASTM-D-1557).

Moisture content must be within 2 percent below or 4 percent above optimum moisture content if fill is deeper than 10 feet.

- Detention shall be in place prior to completion of site improvements. (see plans for Pheasant Point Center)
- Application for L.O.M.R. will be made to F.E.M.A. upon completion of grading. Corp of Engineers wetlands determination is not necessary at this time.

A SET OF CONSTRUCTION PLANS FOR  
**DOMINO'S PIZZA**  
**LOT 3A OF PHEASANT POINT CENTER**  
 A TRACT OF LAND IN FRACTIONAL  
 SECTION 16, U.S. SURVEY 1696  
 TOWNSHIP 46 NORTH, RANGE 3 EAST  
 OF THE FIFTH PRINCIPAL MERIDIAN,  
 ST. CHARLES COUNTY, MISSOURI



GENERAL NOTES

- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL, AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL MECHANICAL EQUIPMENT TO BE SCREENED FROM PUBLIC VIEW.
- PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
- SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
- ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCES. (SEE TREE INVENTORY & LANDSCAPE LEGEND)
- THE DEVELOPER SHALL COMPLY WITH CURRENT ARTICLE 13 PERFORMANCE STANDARDS.
- DETENTION SHALL BE PROVIDED OFFSITE AS PART OF PHEASANT POINT CENTER.
- ALL FENCING REQUIRES A SEPARATE PERMIT FROM PLANNING & ZONING.
- ALL UTILITIES SHALL BE BORED UNDER EXISTING CITY OF O'FALLON STREETS.
- SEE ELECTRICAL PLAN FOR ALL PROPOSED ELECTRIC SERVICE LINE LOCATIONS.
- ALL STORM SEWERS WITHIN RIGHTS-OF-WAY SHALL BE CONSTRUCTED PER THE FOLLOWING MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD CONSTRUCTION DETAILS:

614.10S	CURB INLETS, GRATES AND BEARING PLATES
614.30E	MANHOLE FRAMES AND COVERS
731.00T	PRECAST MANHOLES
731.10N	PRECAST DROP INLETS
732.00M	FLARED END SECTION



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PRINCIPALS & STANDARDS

- All excavations, grading, or filling shall have a finished grade not to exceed a 3:1 slope (33%). Steeper grades may be approved by the designated official if the excavation is through rock or the excavation or the fill is adequately protected (a designed head wall or toe wall may be required). Retaining walls that exceed a height of four (4) feet shall require the construction of safety guards as identified in the appropriate section(s) of the adopted BOCA Codes and must be approved by the City Building Department. Permanent safety guards will be constructed in accordance with the appropriate section(s) of the adopted BOCA Codes.
- Sediment and erosion control plans for sites that exceed 20,000 square feet of grading shall provide for sediment or debris basins, silt traps or filters, staked straw bales or other approved measures to remove sediment from run-off waters. Temporary siltation control measures shall be maintained until vegetative cover is established at a sufficient density to provide erosion control on the site.
- Where natural vegetation is removed during grading, vegetation shall be re-established in such a density as to prevent erosion. Permanent type grasses shall be established as soon as possible during the next seeding period after grading has been completed.
- When grading operations are completed or suspended for more than 30 days permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided.  
  
All finished grades (areas not to be disturbed by future improvement) in excess of 20% slopes (5:1) shall be mulched and tacked at the rate of 100 pounds per 1,000 square feet when seeded.
- Provisions shall be made to accommodate the increased runoff caused by changed soils and surface conditions during and after grading. Unvegetated open channels shall be designed so that gradients result in velocities of 2 fps (feet per second) or less. Open channels with velocities more than 2 fps and less than 5 fps shall be established in permanent vegetation by use of commercial erosion control blankets or lined with rock riprap or concrete or other suitable materials. Detention basins, diversions or any other appropriate structures shall be constructed to prevent velocities above 5 fps.
- The adjoining ground to development sites (lots) shall be provided with protection from accelerated and increased surface water, silt from erosion, and any other consequence of erosion. Run-off water from developed areas (parking lots, paved sites and buildings) above the area to be developed shall be directed to diversions, detention basins, concrete gutters and/or underground outlet systems. Sufficiently anchored straw bales may be temporarily substituted.
- Development along natural watercourses shall have residential lot lines, commercial or industrial improvements, parking areas or driveways set back a minimum of 25 feet from the top of the existing stream bank. The watercourse shall be maintained and made the responsibility of the subdivision trustees or in the case of a site plan by the property owner. Permanent vegetation should be left intact. Variances will include designed streambank erosion control measures. FEMA and U.S. Army Corps of Engineers guidelines shall be followed where applicable regarding site development areas designated as flood plains and wetlands.
- All lots shall be seeded and mulched or sodded before an occupancy permit shall be issued except that a temporary occupancy permit may be issued by the Building Department in cases of undue hardship because of unfavorable ground conditions.

GRADING QUANTITY  
 810 cu.yds.  
 (INCLUDES 15% SHRINKAGE)

The above yardage is an approximation only, NOT FOR BIDDING PURPOSES. Contractors should verify quantities prior to construction.

It is the intention of the Engineer for the earthwork to balance on-site. The Engineer shall be notified if any difficulties arise in achieving the balance.

REFERENCE BENCHMARK:

RM 58 ELEV. 487.55 (U.S.G.S. DATUM)  
 CUT SQUARE ON NORTH HEADWALL OF CONCRETE BOX CULVERT  
 NORTH OF DARDENNE CREEK ALONG WEST SIDE OF HIGHWAY "K".

SITE BENCHMARK:

ELEV. 487.34  
 CUT CROSS ON SIDEWALK ON NORTH SIDE OF PHEASANT MEADOW DRIVE.

DEVELOPMENT NOTES

- Area of Tract: 27,900.25 S.F. - 0.64 Ac.
- Site address: 3441 Pheasant Meadow Drive
- Zoning: C-2 (CITY OF O'FALLON)
- Proposed Use: RETAIL
- Area of Building: 3,897 Sq. Ft.
- The required height and building setbacks are as follows:  
 Minimum Front Yard: 25 feet  
 Minimum Side Yard: 0 feet  
 Minimum Rear Yard: 0 feet  
 Maximum Height of Building: 50 feet (Proposed Height of 18 feet)
- Site is served by:  
 Duckett Creek Sanitary District  
 Union Electric Company  
 St. Charles Gas Company  
 St. Charles County Public Water Supply District #2  
 GTE Telephone Company  
 Fort Zumwalt School District  
 Cottleville Fire Protection District
- Current Owner:  
 Land Planners Five, L.L.C.  
 Tri-Star Business Communities  
 c/o Michael Towernan  
 13397 Lake Front Drive, Suite 200  
 Earth City, MO 63045-1514  
 (314) 291-9999
- Proposed Owner:  
 MBR Highway K Property, L.L.C.  
 MBR Management Corporation  
 c/o Mark B. Ratterman  
 201 N. Main Street, Suite 300  
 St. Charles, MO 63301  
 (636) 947-4433 ext:339
- Flood Plain exists on this tract per F.I.R.M. Map City of O'Fallon, St. Charles County, MO., #29183 C0430 E, Effective Date Aug. 2, 1996. The surveyed tract lies in an area designated as Zone "X" and Zone "AE". Zone "X" is an area determined to be outside the 500-year Flood plain. Zone "AE" is an area determined to be in the 100-year Flood plain. A letter of map revision has been submitted to F.E.M.A. for removal of this property from the existing Flood plain limits. The property has been elevated by fill at this time in accordance with approved site planning. This change in elevation on the properties position the new flood plain limits at the location as shown on this survey as the proposed 100-year Flood plain limits. Elevations to the north and east of this line are above the base flood elevations of 482.00 feet (NGVD). Elevations to the south and west of this line are below the Base Flood elevation of 482.00 feet (NGVD). The proposed flood plain line position was placed for proposed construction to not be affected by the 100-year Flood plain limits.
- Topographic information is per Topographic Survey By BAX Engineering.
- Parking Required:  
 Retail - Ten parking spaces plus 1 per 400 s.f.  
 3,897 / 400 = 9.74 ~ 10 spaces  
 = 20 Spaces Required  
 Parking provided = 28 spaces with 2 handicap spaces
- Parking Landscaping Required:  
 28 spaces x 270 x 6% = 453 sq.ft.  
 Landscaping provided = 566.82 sq.ft.
- Street Trees Required:  
 459.14 / 40 = 11.47 ~ 12 Trees  
 6,384.65 / 3,000 = 2.12 ~ 2 Trees
- Site Coverage Calculations:  
 Building = 3,897 SQ. FT. ~ 0.089 AC.  
 Pavement = 17,157.80 SQ. FT. ~ 0.394 AC.  
 Green Space = 6,845.43 SQ. FT. ~ 0.157 AC.

APPROVED  
 7-3-01

LANDSCAPE LEGEND

QTY. (14) ~ INDICATES EXISTING PROPOSED TREE (oaks, oaks, maples, birches, sweet gum)

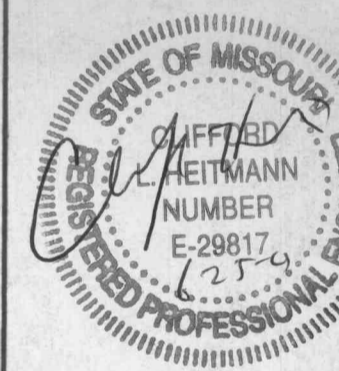
QTY. (4) ~ INDICATES PROPOSED EVERGREEN TREE (pines, spruce)

QTY. (20) ~ INDICATES PROPOSED EVERGREEN SHRUB (mugho pines, hollies, junipers, yews, boxwoods)

LANDSCAPING AS DEPICTED IS SUBJECT TO FINAL DESIGN BY A QUALIFIED LANDSCAPE DESIGNER

PREPARED FOR:  
**MBR HIGHWAY K PROPERTY, L.L.C.**  
 201 N. MAIN STREET, SUITE 300  
 ST. CHARLES, MO 63301

DISCLAIMER OF RESPONSIBILITY  
 I hereby certify that the documents to be authorized by my seal are my own work, and I hereby disclaim any liability for all other drawings, specifications, estimates, reports or other documents instruments relating to or intended for any part or parts of the authorized engineering project or survey.



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REVISIONS

NO.	DATE	DESCRIPTION
12-18-00		CITY COMMENTS
5-22-01		MODOT COMMENTS

**BAX**  
 ENGINEERING  
 PLANNING  
 SURVEYING

1052 South Cloverleaf  
 St. Peters, MO. 63376  
 314-928-5552  
 FAX 928-1718

11-1-00  
 DATE  
 95-7218H  
 PROJECT NUMBER  
 1 OF 4  
 SHEET OF  
 7218HCON.DWG  
 FILE NAME  
 ALJ CLH  
 DRAWN CHECKED