

VICINITY MAP (NOT TO SCALE)

Legal Description Per Stewart Title Guaranty Company Commitment

A tract of land located in the West Half of the Southwest Quarter of the Southwest Quarter of Section 28, Township 47 North, Range 3 East, St. Charles County, Missouri, and being more particularly described as follows:

Beginning at a point 75.00 feet East of and perpendicular to the centerline, said point being on the East Right-of-Way line of relocated Highway "K" Station 4+83.85; thence N 62°38'24"E a distance of 50.77 feet to the West Right-of-Way line of Bramblett Road (40' wide); thence on said West Right-of-Way line the following two courses and distances; 1) S 39°21'39"E a distance of 176.90 feet; 2) S 26°08'18"E a distance of 215.06 feet; thence S 87°38'24"W a distance of 262.71 feet to the East Right-of-Way line of relocated Highway "K"; thence on said East Right-of-Way line the following three courses and distances; 1) N 07°00'09"E a distance of 101.46 feet; 2) N 02°16'29"E a distance of 100.00 feet; 3) N 02°47'08"W a distance of 116.42 feet to the Point of Beginning.

Said tract of land contains 53,807 square feet or 1.24 acres, more or less.

SITE DATA

SITE AREA = 1.23 ACRES (53,748 SQ FT)

SETBACKS - BUILDING
 FRONT : 25'
 SIDE (STREET SIDE OF CORNER LOT): 25'
 SIDE: 0'
 REAR: 0'

INTERIOR LANDSCAPING:
 REQUIRED: 57 STALLS X 270 SF X 0.06 = 923 SQ.FT.
 ACTUAL: 936 SQ.FT.

PARKING CALCULATIONS:
RESTAURANT REQUIRED PARKING:
 = 20 SPACES + 1 SPACE / 100 SQ.FT. OF G.S.F.
 = 20 + 7,591 SQ.FT. / 100 = 96 SPACES

FITNESS CENTER REQUIRED PARKING:
 = 1 SPACE / 200 SQ. FT. OF FLOOR AREA
 = 29,937 SQ. FT. / 200 SQ. FT. = ~150 SPACES

TOTAL REQUIRED PARKING: 246 SPACES

ON SITE PARKING:	55 REGULAR SPACES
	2 ADA SPACES
	TOTAL: 57 SPACES
TOTAL PARKING:	238 REGULAR SPACES
	8 ADA SPACES
	TOTAL: 246 SPACES

Note:
 Owner shall contribute equal to the costs associated with making roadway improvements on Bramblett Road to widen the roadway to 13' wide from the centerline with a 6" vertical concrete curb and a 5' wide sidewalk.

Keynotes

- | | | |
|---|--|--|
| 1 Integral Curb and Sidewalk
See Detail 5, Sheet C8 | 9 Concrete Pavement
See Detail 8, Sheet C8 | 16 Wheel Stops
See Detail 13, Sheet C8 |
| 2 4" White Pavement Striping | 10 Landscaped Area | 17 Concrete Apron
See Detail 12, Sheet C8 |
| 3 Diagonal Striping 4" White
@ 24" O.C. | 11 Dumpster Enclosure
See Architectural Sheets | 18 Covered Patio
See Detail 14, Sheet A4.1 & A6.1 |
| 4 Heavy Duty Asphalt Pavement
See Detail 1, Sheet C8 | 12 Sawcut Curb / Pavement Full
Depth for Clean Joint | 19 Standard Concrete Barrier Curb
See Detail 9, Sheet C8 |
| 5 Directional Traffic Arrows
See Detail 3, Sheet C8 | 13 Concrete Sidewalk
See Detail 6, Sheet C8 | 20 Sidewalk Ramp with Detectable
Warning, See Detail 15, Sheet C8 |
| 6 Accessible Parking Stalls
See Detail 4, Sheet C8 | 14 Sidewalk Ramp with Detectable
Warning, See Detail 14, Sheet C8 | 21 Sidewalk Ramp with Detectable
Warning, See Detail 16, Sheet C8 |
| 7 Light Duty Asphalt Pavement
See Detail 7, Sheet C8 | 15 Site Lighting
See Sheet C9 | 22 Transformer Pad
See Detail 6, Sheet C8 |
| 8 Stoop
See Detail 2, Sheet C8 | | |

Legend

These standard symbols may be found in the drawing.

W Water Line	SS Sanitary Sewer Main	○ Sanitary Sewer Manhole
X Fence	- - - 470 Existing Contours	□ Sign
- - - UGT Underground Telephone	- - - S Storm Sewer	○ Water Meter
460 Proposed Contours	OHE Overhead Utility Lines	✕ Water Valve
G Gas Lines	Swale	○ Utility Pole
● Iron Pin		TBR To Be Removed
▬ Parking Bumper		TC Top of Curb
○ Bollard		PV Pavement
○ Soil Boring Location		ME Match Existing
○ Sanitary Sewer Cleanout		470.0 Grade point
○ Gas Meter		○ Number of Parking Spaces
▬ Storm Sewer Curb Inlet		
○ Storm Sewer MH/Open Lid		
☀ Light Pole or Traffic Light		
○ Storm Sewer Manhole		
○ Tree		
● Mag Nail		

	Existing Concrete		New Concrete Walk/Pavement
	Existing Pavement		New Asphalt

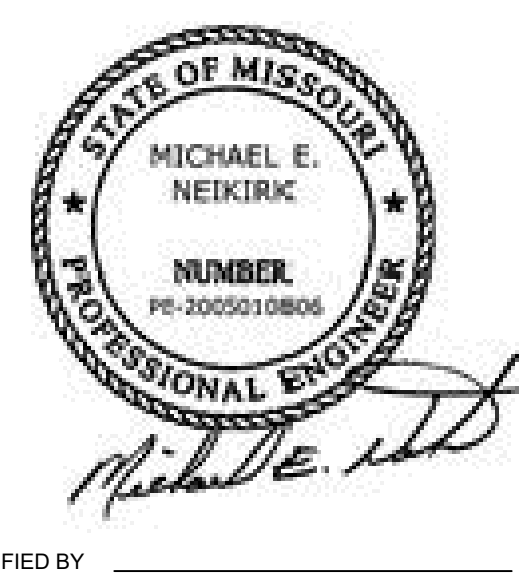
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REVISIONS

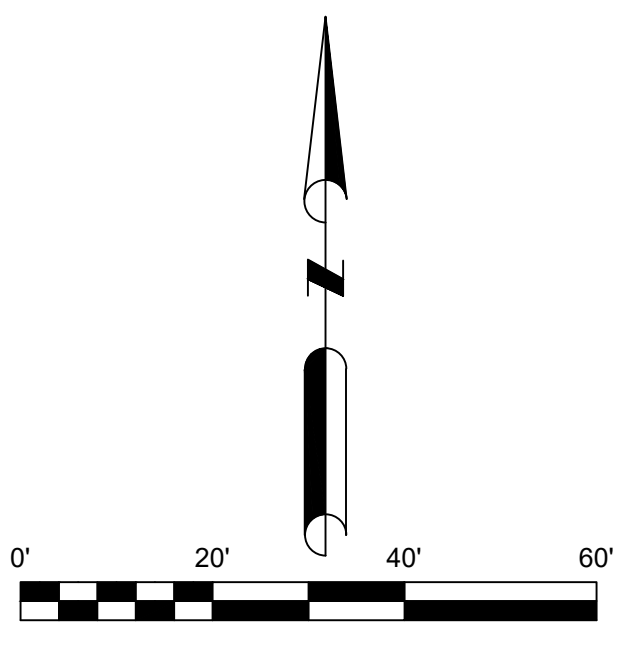
NO.	DESCRIPTION	DATE
CONSTRUCTION DOCUMENTS		11/29/22

MICHAEL E. NEIKIRK PE
Civil Engineer
 306 North Market Street, Ste 101
 Mt. Carmel, IL 62863
 Phone: (618) 263-4100

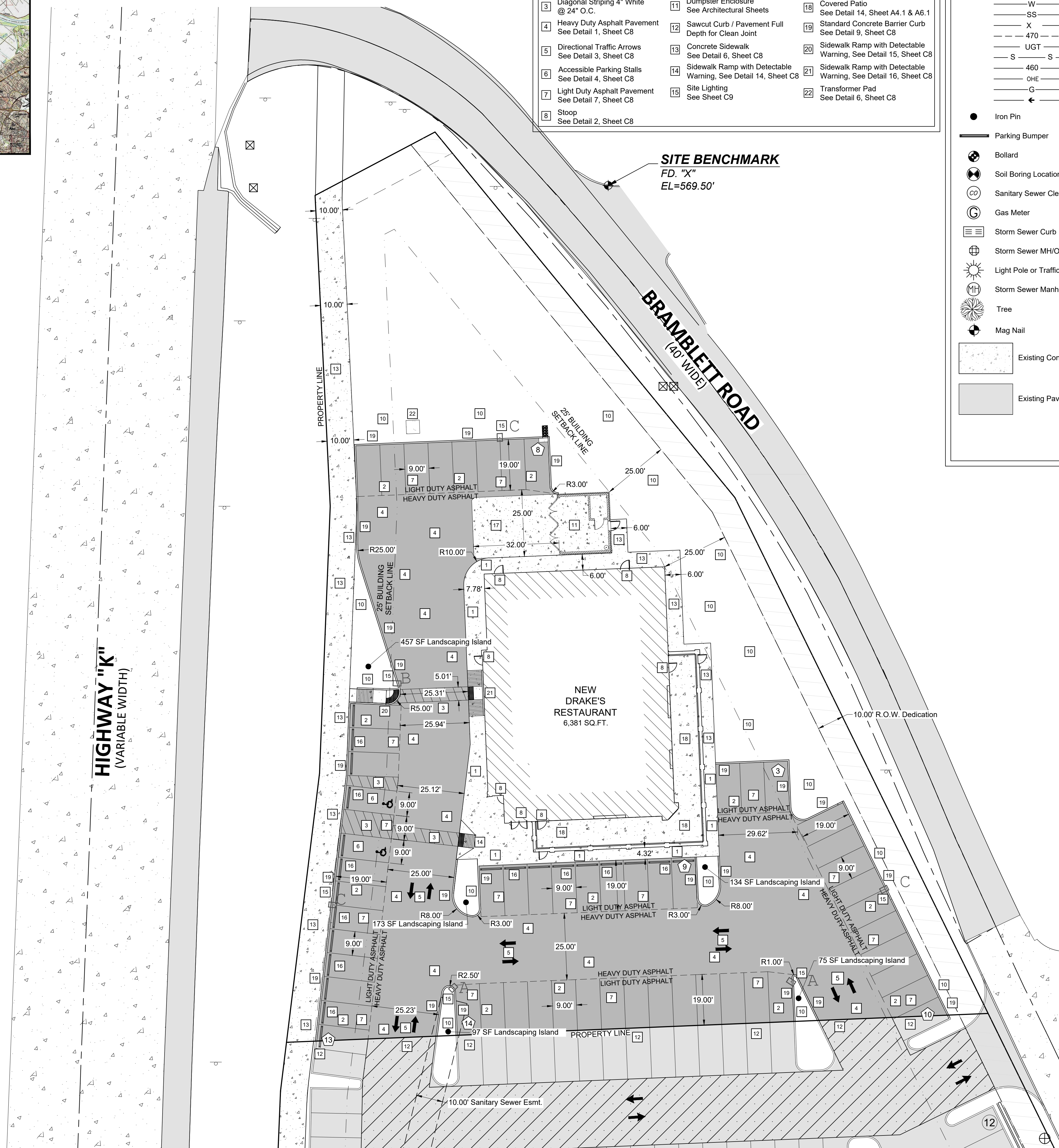
SCALE:	1"=20'
DRAWN BY:	RM
DESIGNER:	TJL, RM
CHECKED BY:	TJL
ENGINEER:	Michael E. Neikirk
ARCHITECT:	IDesign
OWNER:	Bluegrass Hospitality Group



CERTIFIED BY _____



Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).



JOB TITLE
 DRAKE'S RESTAURANT
 900 HIGHWAY K
 O'FALLON, MO

DRAWING TITLE
 SITE PLAN

FILE LOCATION	DRAWING NUMBER	REV #
	C3.1	