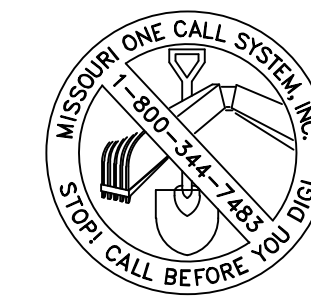
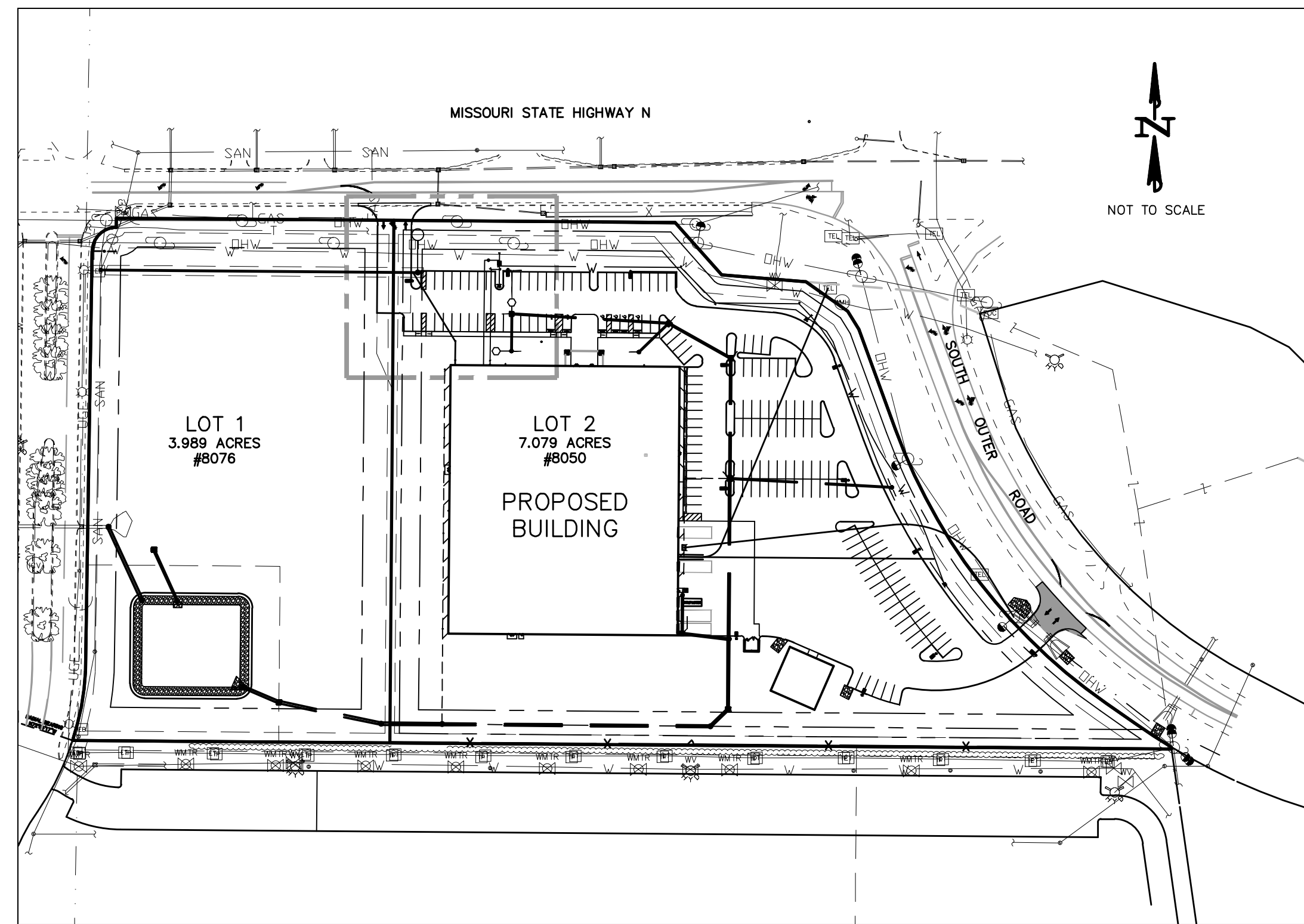


A SET OF CONSTRUCTION PLANS FOR DYNAFLEX

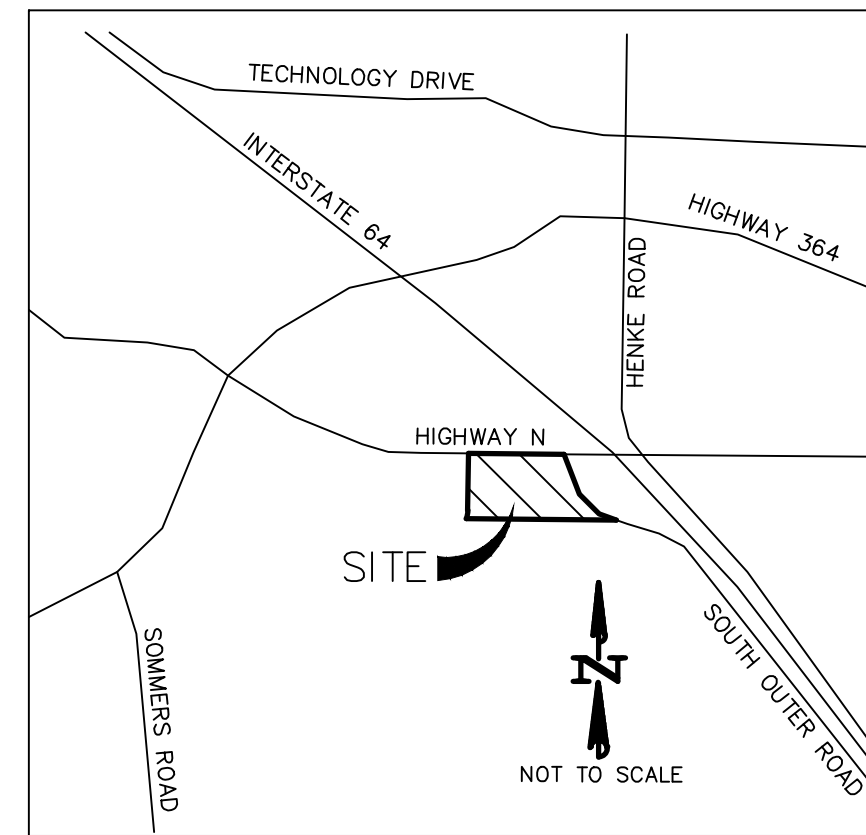
A TRACT OF LAND BEING LOT 1 AND LOT 2 OF DYNAFLEX HAWK RIDGE
 PLAT BOOK 50 PAGE 367
 AND BEING PART OF LOT 7 OF
 "PLAT NO. 1 OF BALDRIDGE PARTITION"
 DEED BOOK T PAGE 456
 IN FRACTIONAL SECTION 10 AND FRACTIONAL SECTION 11
 TOWNSHIP 47 NORTH, RANGE 2 EAST
 OF THE FIFTH PRINCIPAL MERIDIAN
 CITY OF O'FALLON
 ST. CHARLES COUNTY, MISSOURI



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Plan View



Locator Map

Conditions of Approval From Planning and Zoning - Site Plan

Staff Recommendations

- Provide a 10' wide trail along the MODOT Outer Road and Hawk Ridge Trail to be connected to Springhurst Parkway when Lot 1 develops. Provide pedestrian and bicycle connection to the intersection of Hawk Ridge Trail and the Outer Road. The trail system shall be separated from the roadway.
- Provide a 6' wide PC sidewalk from the new curb cut on Hawk Ridge Trail to the end of the concrete block wall then provide a 10' wide trail for the portion past that point and to the end of the property along the outer road.
- The applicant shall address the Municipal Code Requirement listed below.

Municipal Code Requirements

- Provide a fence detail.
- Provide approval from the jurisdiction that owns Highway N in this location for the entrance.
- Provide approval from the fire district and water and sanitary districts.
- Provide a photometric lighting plan with lighting values shown to the property line.
- Provide additional information on tree species and height with Construction Plans.
- All mechanical units shall be screened in accordance with Code Section 400.278.

Utility Contacts

Sanitary Sewer
 Duckett Creek Sanitary District
 3550 Highway K
 O'Fallon, MO, 63368
 636-441-1244

Water
 Public Water Supply District No. 2
 P.O. Box 967
 O'Fallon, MO 63366
 636-561-3737 ext. 131

Gas
 Spire Gas Company
 6400 Graham Road
 St. Louis, MO 63134
 314-522-2297

Electric
 Cuivre River Electric Co.
 P.O. Box 160
 Troy, MO, 63379-0160
 1-800-392-3709

Telephone
 Centurylink
 1151 Century Tel Dr.
 Wentzville, MO 63385
 636-332-7261

Charter Communications
 941 Charter Commons
 Town & Country, MO 63017
 888-438-2427

Fire Department
 Wentzville Fire Protection District
 502 Luetkenhaus Boulevard
 Wentzville, MO 63385
 636-332-9869

Developer

Contact: Duke Property Management L.L.C.
 10403 International Plaza
 St. Ann, MO 63074
 Maureen Miller
 314-426-4020

Benchmarks:

Project
 PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND WERE GENERATED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE R8 GNSS ROVER AND TRIMBLE TSC3 DATA COLLECTOR AND ARE BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS.

Site
 REFERENCE BENCHMARK: THE OBSERVED VERTICAL CHECK STATION UTILIZED IS LISTED ON WWW.NGS.NOAA.GOV AS DESIGNATION "A 149" WITH A PID OF JCO542 AND A PUBLISHED ELEVATION OF 630.08 (NAVD88).

Site
 SITE BENCHMARK A (NAVD 88)- CUT SQUARE ON UTILITY VAULT IN CONCRETE ISLAND AT THE NORTHEAST CORNER OF SITE (ELEVATION=639.01) AS SHOWN HEREON.

Site
 SITE BENCHMARK B (NAVD 88)- "M" IN "MUELLER" ON FIRE HYDRANT LOCATED ON WEST SIDE OF SPRINGHURST PARKWAY AND ACROSS FROM SUBJECT PROPERTY (ELEVATION=614.27) AS SHOWN HEREON.

Fire Protection District Notes:

- Each fire hydrant shall not have less than two 2-1/2 inch outlets and one 4-1/2 inch outlet, a 5-1/4 inch valve, a 6 inch barrel and shall be of the breakaway design, frost free with chain, left hand open design and have national standard threads.
- Fire hydrant shall be provided with a control valve in the hydrant connection such that the hydrant can be removed from service without shutting off water supply to other fire hydrants.
- In setting hydrants, due regard shall be given to final grade line. The center of a hose nozzle outlet shall not be less than (18) inches above grade and the outlets must face the street or access drive.
- There shall be no obstruction, i.e. planting, bushes, trees, signs, light standards, mailboxes, etc. within six (6) feet of any fire hydrant, and/or fire department connection to an automatic sprinkler system.
- A fire hydrant is required to be within 150 feet of a fire department connection to an automatic fire suppression system.
- All tees, plugs, bends and hydrant branches shall be restrained against movement in accordance with Section 8-6 of the NFPA 24.
- The flushing and testing of the underground piping, etc. for private service mains shall comply with Chapter 9 of NFPA 24 and shall be witnessed by a representative from the fire district.
- Fire Department connection shall be accessible and installed on accordance to Section 912 of the 2009 I.F.C.

Legend

400.00	EXISTING LABELS	□	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	□	EXIST. AREA INLET
CI	SINGLE CURB INLET	□	EXIST. GRATE INLET
DCI	DOUBLE CURB INLET	□	PROPOSED SINGLE CURB INLET
AI	AREA INLET	■	PROPOSED AREA INLET
DAI	DOUBLE AREA INLET	■	PROPOSED GRATE INLET
GI	GRATE INLET	⊙	EXIST. SANITARY MANHOLE
DGI	DOUBLE GRATE INLET	⊙	EXIST. STORM MANHOLE
MH	MANHOLE	●	PROPOSED MANHOLE
FE	FLARED END SECTION	⊙	POWER POLE
EP	END PIPE	⊙	GUY WIRE
CP	CONCRETE PIPE	⊙	LIGHT STANDARD
RCP	REINFORCED CONCRETE PIPE	⊙	FIRE HYDRANT
CMP	CORRUGATED METAL PIPE	⊙	WATER METER
CPP	CORRUGATED PLASTIC PIPE	⊙	WATER VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	⊙	GAS VALVE
CO	CLEAN OUT	⊙	TELEPHONE MANHOLE
.....	SLOPE LIMITS	⊙	FIBER OPTIC MARKER
—	DRAINAGE SWALE	⊙	AC UNIT
STM	EXISTING STORM SEWER	⊙	TELEPHONE CABLE PEDESTAL
SAN	EXISTING SANITARY SEWER	⊙	ELECTRIC METER
W	EXISTING WATER LINE	⊙	CLEANOUT
FO	EXISTING FIBER OPTIC LINE	⊙	MAILBOX
GAS	EXISTING GAS LINE	⊙	SIGN
UGE	EXISTING UNDERGROUND ELECTRIC	⊙	TREE
OHW	EXISTING OVERHEAD ELECTRIC	⊙	
CTV	EXISTING CABLE TV LINE	⊙	
T	EXISTING TELEPHONE LINE	⊙	
—	PROPOSED STORM SEWER	⊙	
—	PROPOSED SANITARY SEWER	⊙	
X-X	FENCE LINE	⊙	
—	SAWCUT LINE	⊙	
TBR	TO BE REMOVED	⊙	
UIP	USE IN PLACE	⊙	

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

Grading Quantities:

19,200 C.Y. CUT (INCLUDES SUBGRADE & IMPORTING 2 FEET OF SCREENINGS BELOW BUILDING PAD)

19,200 C.Y. FILL (INCLUDES 8% SHRINKAGE)

BALANCED

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

- * City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:
 October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 through September 30
 6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

- * The area of this phase of development is 11.068 Acres Total
 The area of land disturbance is 10.85 Acres Number of proposed lots is one.
 Building Setback Information. Front = 30 Feet
 Side = 20 Feet, 30 Feet for corner lot
 Rear = 35 Feet

- * The estimated sanitary flow in gallons per day is 9,000

- * Parking Calculations:
 Office: 1 Space per 300 Sq. Ft. Floor Area
 11,400/300 Sq. Ft. x 1 Space = 38 Spaces

- Manufacturing: 1 Space per Employee + 1 Space per 1,000 Sq. Ft. Floor Area
 (75 Employees x 1 Space) + (22,150/1,000 Sq. Ft. x 1 Space) = 97.15 Spaces

- Warehouse: 1 Space per Employee on Max. Work Shift + 1 Space per each Business Vehicle + 2 Guest Spaces
 (25 Employees x 1 Space) + (2 Business Vehicles x 1 Space) + 2 Guest Spaces = 29 Spaces

- Required Parking Spaces = 165 Spaces
 Provided Parking Spaces = 166 Spaces (including 6 Accessible Spaces)

- * Loading Calculations:
 Loading Spaces: 1 loading space for use over 5,000 Sq. Ft. Gross Floor Area and 1 Additional Loading Space for every additional 20,000 Sq. Ft. Gross Floor Area
 1 Loading Space + {(67,520-5,000)/20,000 Sq. Ft.} x 1 Loading Space = 3.13 Loading Spaces

- Required Loading Spaces = 4 Loading Spaces
 Provided Loading Spaces = 4 Loading Spaces

- * Tree Preservation Calculations: 20% of existing trees or 15 trees per acre (whichever is greater) shall be preserved

- Required Tree Preservation = 0 Trees x 0.20 = 0 Trees Preserved

- * Landscape Calculations:
 1 Tree per 40 Feet Street Frontage (Lot 2)
 1,074.64 Feet Street Frontage/40 Feet X 1 Tree = 27 Trees Required

- 1 Tree per 3,000 Sq. Ft. of Landscaped Open Space
 7127.40/3,000 Sq. Ft. X 1 Tree = 3 Trees Required

- Interior Landscape Area = 6% Minimum Interior Parking Lot
 0.06(166 Spaces x 270 Sq. Ft.) = 2,689.20 Sq. Ft. Interior Landscape Area Required
 Total Interior Landscape Area Provided = 4,071.16 Sq. Ft.

- Buffer Yard Requirements (South Property Line):
 4 Deciduous Trees (3" Caliper Min.) + 8 Shrubs (5 Gal. Min.) and a 6 foot high sight-proof fence within 20 foot wide buffer yard per every 100 feet of frontage where buffer yard is required
 818.99/100 Feet x 4 Deciduous Trees = 33 Trees Required
 818.99/100 Feet x 8 Shrubs = 66 Shrubs Required

Development Notes:

- THIS PROPERTY IS REFERENCED AS THE FOLLOWING PARCEL I.D. NUMBERS OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE:
 LOT 1 = PARCEL ID: 4-0036-CB41-00-0001.0000000
 LOT 2 = PARCEL ID: 4-0036-CB41-00-0002.0000000
- AREA OF TRACT:
 11.068 ACRES TOTAL
 LOT 1 = 3.989
 LOT 2 = 7.079
- EXISTING ZONING: HTCD HIGH TECH CORRIDOR DISTRICT/PLANNED UNIT DEVELOPMENT, CITY OF O'FALLON
- BUILDING ADDRESS (LOT 2): 8050 HAWK RIDGE TRAIL O'FALLON, MO 63367
- PROPOSED USE: DYNAFLEX - MANUFACTURING
- OWNER: DUKE PROPERTY MANAGEMENT, L.L.C. 10403 INTERNATIONAL PLAZA DRIVE ST. ANN, MO 63074
- SITE COVERAGE (LOT 2):
 SITE = 308,375 SQ. FT. (7.079 ACRES)
 PROPOSED BUILDING = 67,520 SQ. FT. = 22%
 PROPOSED PAVILION = 2,500 SQ. FT. = 1%
 PROPOSED PAVEMENT = 105,124 SQ. FT. = 34%
 PROPOSED GREENSPACE = 133,231 SQ. FT. = 43%
- BASIS OF BEARINGS IS THE "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" (GRID NORTH).
- TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C02200, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.

COMMUNITY: CITY OF O'FALLON
 NUMBER: 290316
 PANEL: 0220
 SUFFIX: G

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."

THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED.

- ALL NEW LIGHTING SHALL BE DOWNCAST LIGHTS CONSISTENT WITH CITY OF O'FALLON STANDARDS AND SPECIFICATIONS. POLE HEIGHT SHALL BE 22 FEET.
- ALL MECHANICAL EQUIPMENT SHALL BE ROOFTOP MOUNTED AND WILL BE SCREENED PER CITY OF O'FALLON ZONING CODE, SECTION 400.278.
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL NEW UTILITIES ARE TO BE LOCATED UNDERGROUND.
- ANY OFFSITE GRADING OR UTILITY CONSTRUCTION WILL REQUIRE AN EASEMENT BEFORE CONSTRUCTION.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH CITY OF O'FALLON STANDARDS. ALL CONSTRUCTION WITHIN STATE RIGHT OF WAY SHALL COMPLY WITH MODOT STANDARDS.
- ALL SIGNAGE FOR THIS FACILITY SHALL REQUIRE SEPARATE PERMIT APPROVAL.

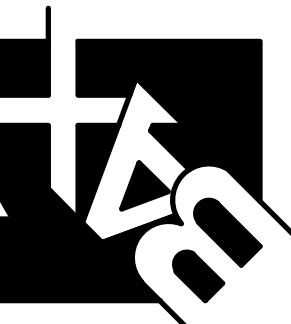
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- 17 WATER DETAILS
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CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: *Maureen Miller* DATE: 06/02/2020
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE:
 CONSTRUCTION PLANS FOR
 DYNAFLEX
 8050 HAWK RIDGE TRAIL
 O'FALLON, MISSOURI 63376

ENGINEERING
 PLANNING
 SURVEYING



DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project of which this sheet is a part.

STATE OF MISSOURI
 LARRY D. WALKER
 PROFESSIONAL ENGINEER
 NUMBER: 2007020343
 EXPIRES: 12/31/20

Larry D. Walker
 Civil Engineer
 Copyright 2019
 Box Engineering Company, Inc.
 Authority No. 000655
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REVISIONS	
1-21-20	DCSD COMMENTS
1-31-20	DCSD/PWSD/FIRE COMMENTS
2-11-20	CITY/FIRE COMMENTS
2-12-20	PWSD COMMENTS
2-20-20	MODOT COMMENTS
3-16-20	WATER TAP REVISION

Developer / Owner:
 Duke Property Management L.L.C.
 10403 International Plaza
 St. Ann, Missouri 63074
 (314) 426-4020

P+Z No. #19-003530
 Approval Date 11-07-19

City No. #

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COVER SHEET

Box Project # 19-7667 Issue Date: 12/06/2019