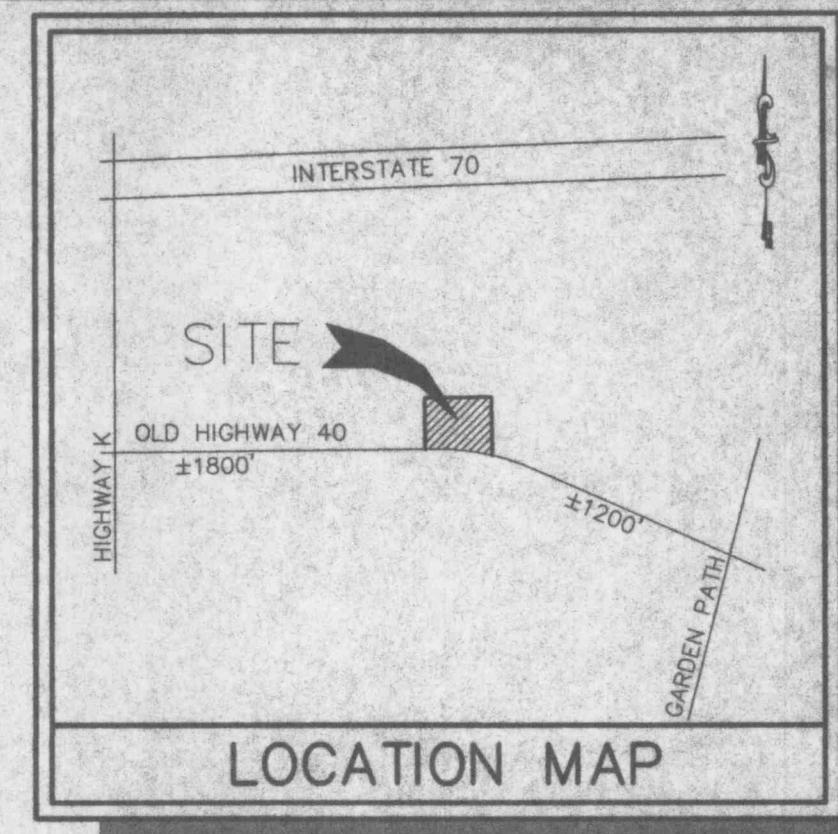


A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 28 TOWNSHIP 47 NORTH, RANG 3 EAST ST. CHARLES COUNTY, MISSOURI



EISENBATH DEVELOPMENT, INC. 725 LORETTA DRIVE O'FALLON, MO. 63366 314-978-3030

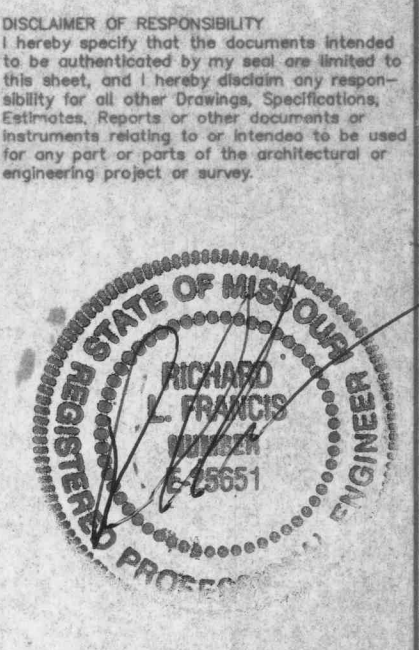
DEVELOPMENT NOTES

- 1) AREA OF TRACT: 1.99 ACRES... 2) PROPOSED ZONING: C-2 GENERAL BUSINESS DISTRICT... 3) PROPOSED USE: RESAURANT ADDITION (1500 S.F.)... 4) SITE IS SERVED BY: CITY OF O'FALLON WATER... 5) PARKING REQUIRED: EXISTING RESTAURANT = 3,900 S.F. PROPOSED RESTAURANT ADDITION = 1,500 S.F. TOTAL = 5,400 S.F. REQUIRED PARKING 20 P.S. PLUS 1 P.S./100 S.F. 20 + (5,400 / 100) = 74 P.S. REQUIRED (3 HANDICAPPED PARKING SPACES INCLUDED) PARKING LOT AREA = 27,200 SQ. FT. PARKING LOT LANDSCAPED AREA = 1,710 SQ. FT. (6.29%) 6) TOTAL PARKING SPACES PROVIDED = 74 SPACES 7) BUILDING SETBACKS: FRONT YARD 25 FEET SIDE YARD 0 FEET REAR YARD 0 FEET

GENERAL NOTES

- 1) UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION... 2) NO GRADING OTHER THAN PARKING LOT SUBGRADE PREPARATION IS ANTICIPATED. 3) HANDICAPPED PARKING SPACES SHALL HAVE SIGNS PER CITY OF O'FALLON SPECIFICATIONS. 4) STORM WATER DETENTION TO BE PROVIDED WITHIN THE PARKING AREA. 5) THERE IS NO OFF-SITE WATER WHICH DRAINS ONTO THIS PROPERTY. 6) NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED. 7) ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS. 8) SILTATION CONTROL TO BE PROVIDED AS DIRECTED BY THE CITY OF O'FALLON. 9) THERE ARE NO EXISTING STORM SEWERS ON THIS SITE. 10) SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, PLANTER DETAILS SERVICE CONNECTIONS, DETAILS, ETC. 11) ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND. 12) ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED. 13) A BACKFLOW PREVENTER IS REQUIRED INSIDE THE BUILDING ON THE WATER SERVICE LINE. 14) SIGNS REQUIRE A SEPERATE PERMIT. SIGNS WILL BE A MINIMUM OF 10' FROM THE PROPERTY LINE. 15) A FENCE PERMIT WILL NEED TO BE APPLIED FOR AND OBTAINED PRIOR TO CONSTRUCTION OF ANY FENCE. 16) THERE IS NO FLOOD PLAIN ON THIS SITE PER F.I.R.M. NO.29183C0237 D DATED: AUGUST 2, 1996. 17) SEE ARCHITECTURAL PLANS FOR THE LOCATION AND SPECIFICATIONS FOR THE BUILDING LIGHTING. 18) PARKING LOT LIGHTING SHALL BE INSTALLED PER CITY OF O'FALLON. 19) EXISTING TREES TO BE REMOVED = 13. PROPOSED TREES TO BE PLANTED = 24. "PATMORE SEEDLESS ASH" - TO BE PLANTED 20) TOTAL TREES PROPOSED: 25 TREES 21) ALL PROPOSED TREES SHOWN SHALL BE DECIDUOUS HARDWOOD SPECIES (2" MINIMUM CALIPER) AND SHALL CONFORM TO THE TREE PRESERVATION ORDINANCE.

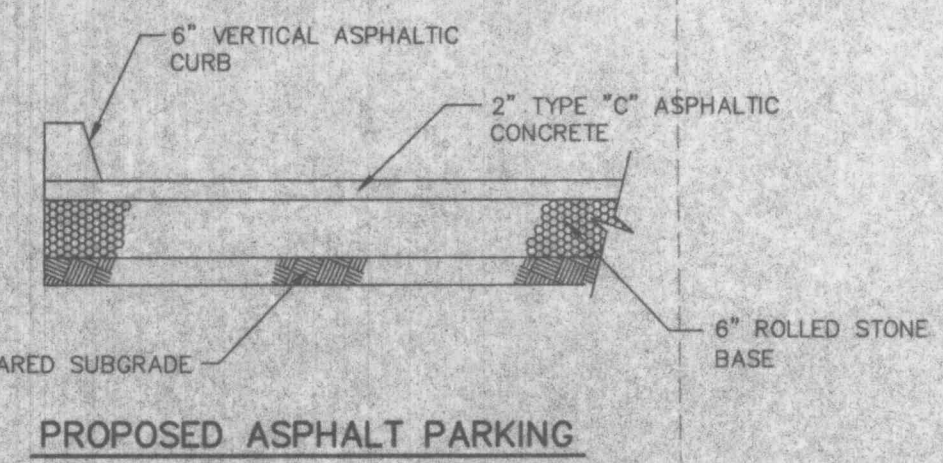
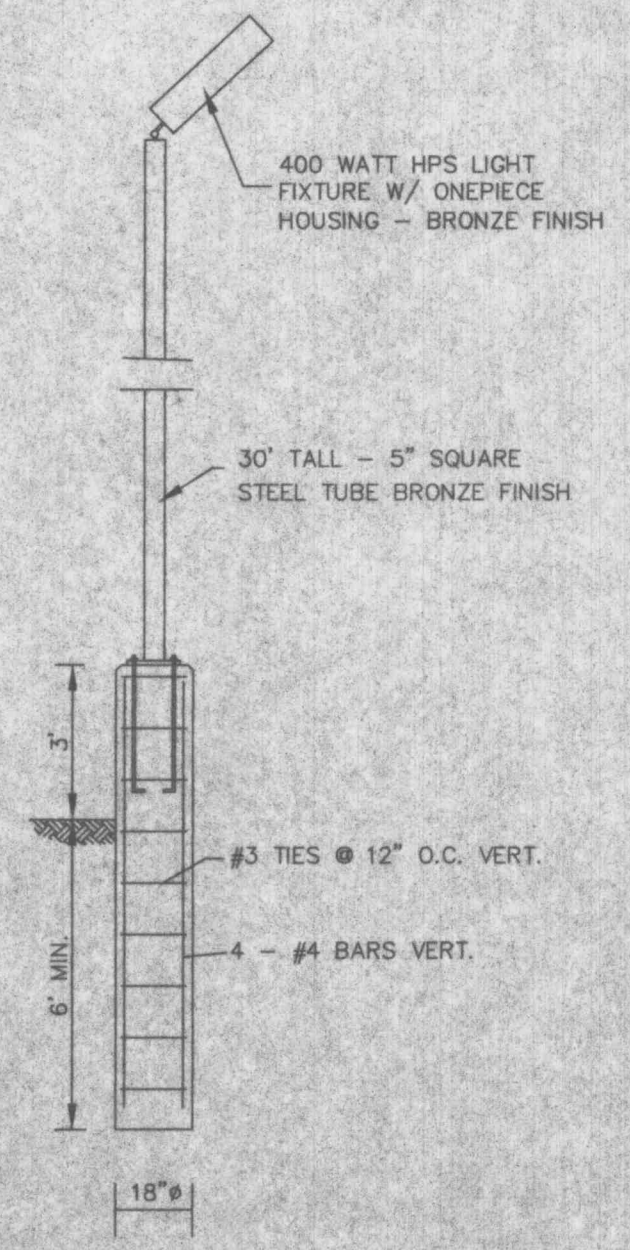
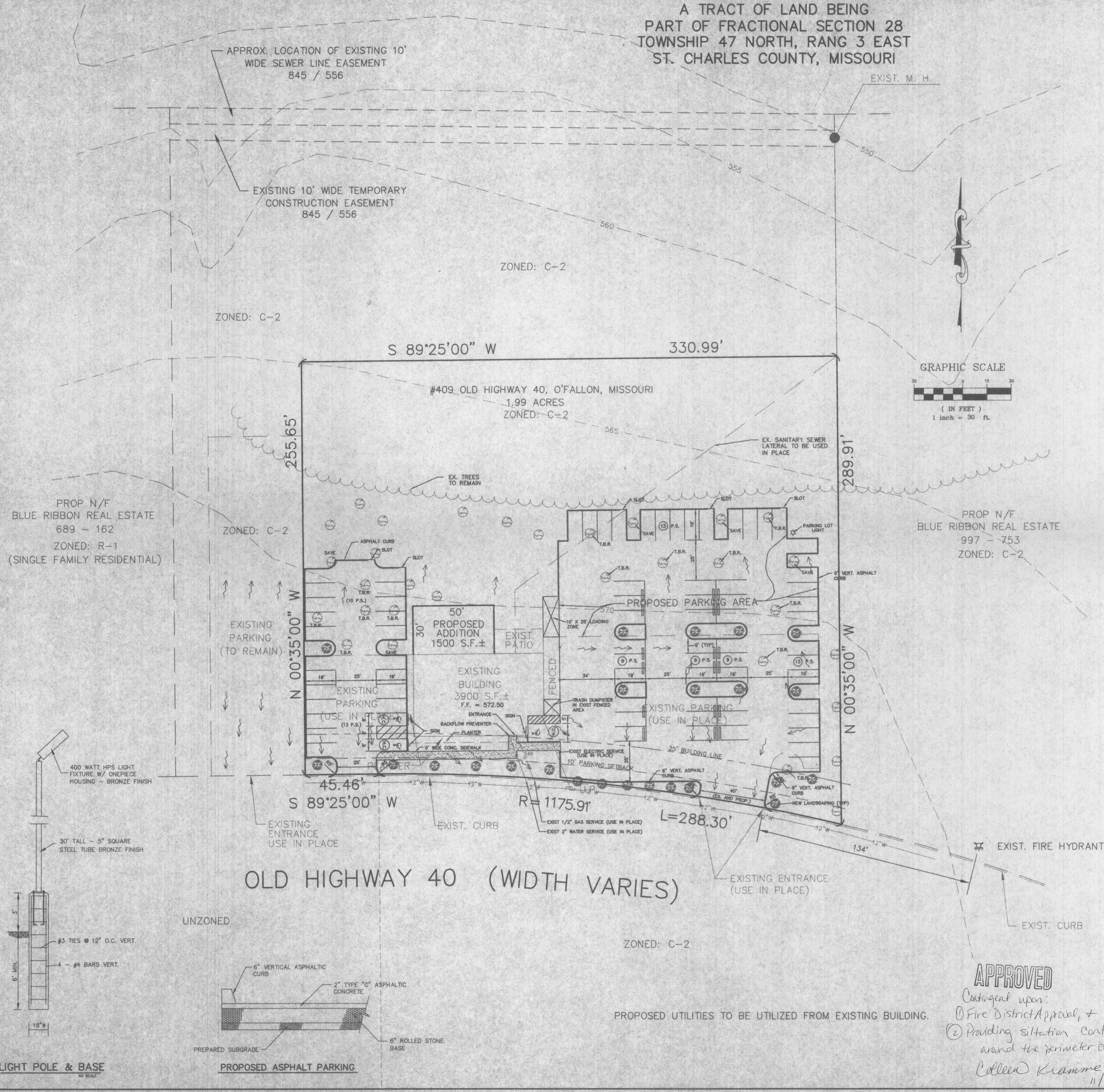
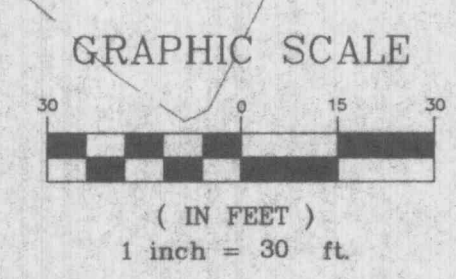
PREPARED FOR:



REVISIONS table with columns for date and description. Entry: 10/28/96 PARKING REV.

Engineering Planning Surveying logo and address: 1052 South Cloverleaf Drive St. Peters, MO. 63376-0445 314-928-5552 FAX 928-1718

AUG. 20, 1996 DATE #96-8551 PROJECT NUMBER 1 OF 1 SHEET OF 8551PRE.DWG FILE NAME L.S.S. DRAWN CHECKED



APPROVED Contingent upon: 1) Fire District Approval, + 2) Providing siltation control around the perimeter of the site. Colleen Kramme 11/4/96