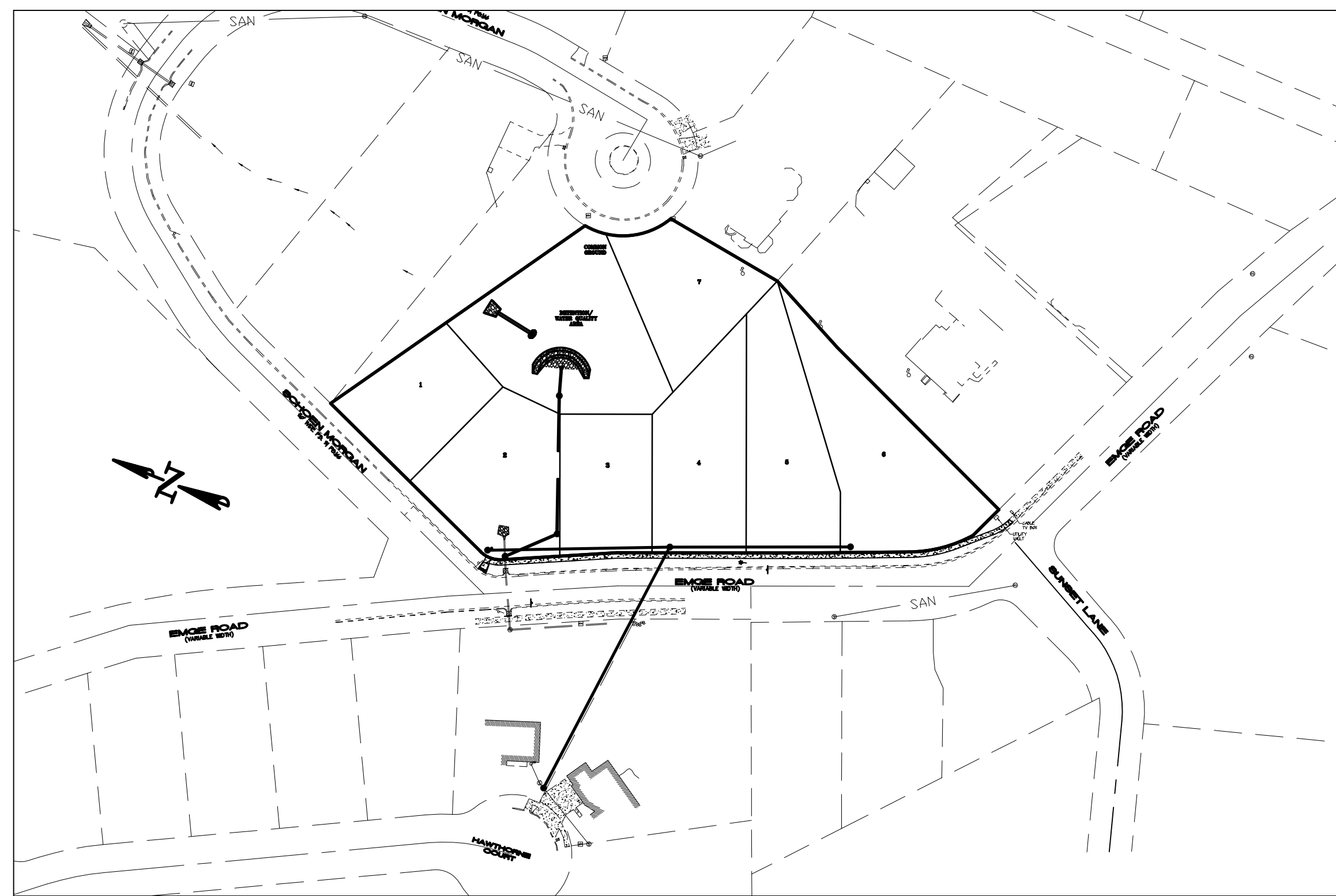
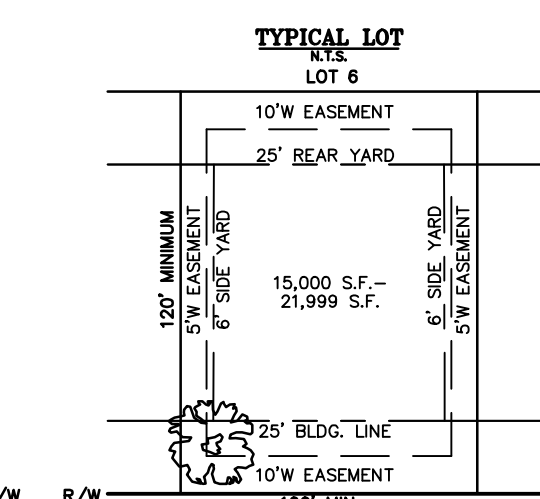
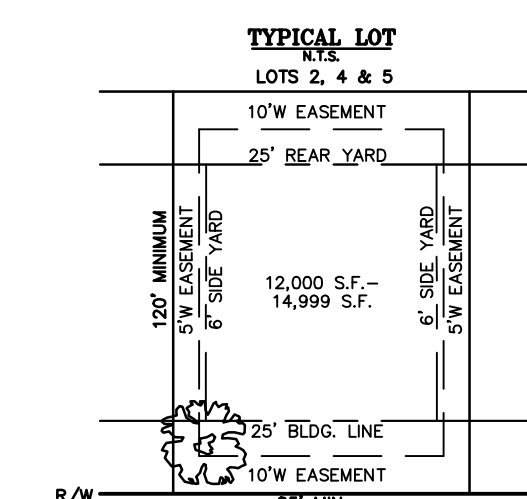
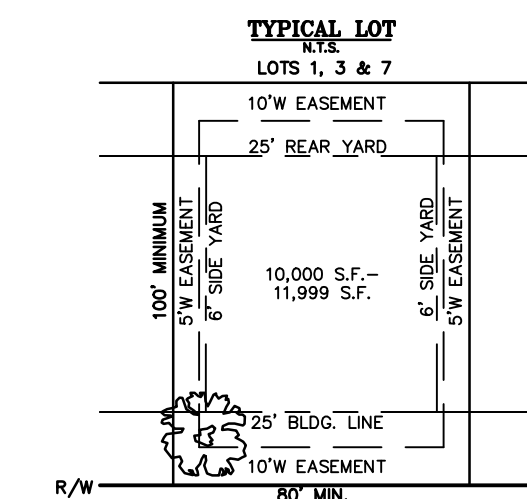


# A SET OF CONSTRUCTION PLANS FOR ELLA'S PLACE

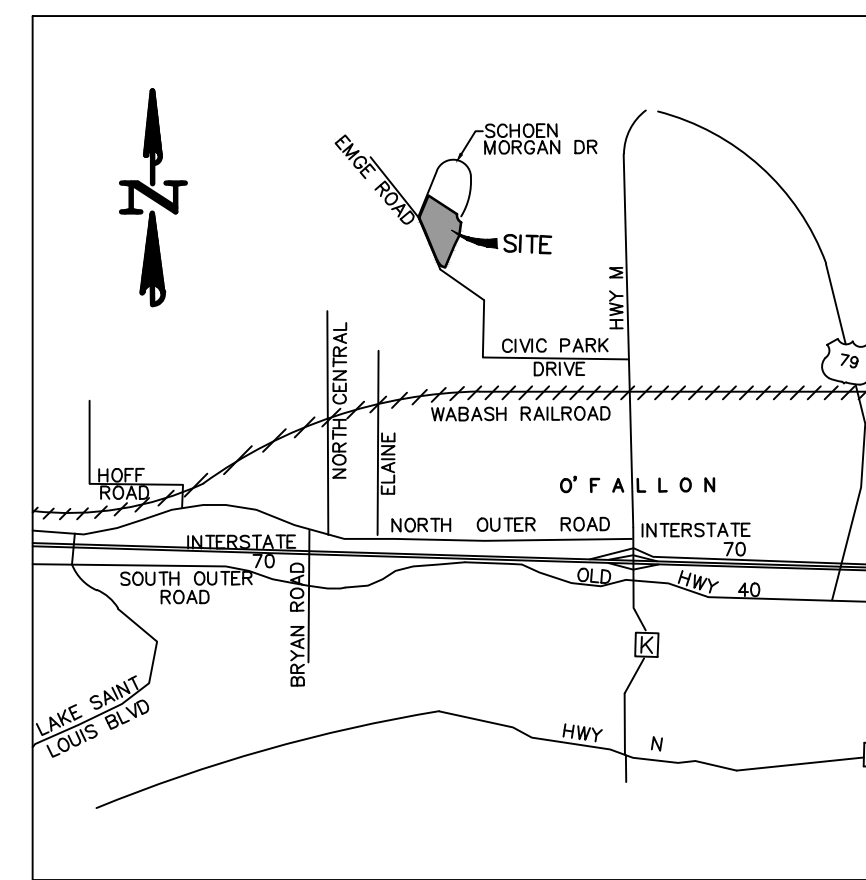
A TRACT OF LAND BEING PART OF LOT 1A OF THE "RESUBDIVISION OF LOT 2 OF MARYRIDGE" PLAT BOOK 32, PAGE 349 AND THE "RESUBDIVISION OF LOTS 1 AND 10 OF MARYRIDGE" PLAT BOOK 32, PAGE 94 IN SECTION 20, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN CITY OF O'FALLON ST. CHARLES COUNTY, MISSOURI

## Development Notes:

- Existing Zoning: "R-1" Single Family Residential
- Proposed Use: Single Family Residential
- Property Owner: V. Schneider Enterprises, LTD. 429 N. Main Street O'Fallon MO, 63366
- Enclosed decks must maintain a 25 foot setback from rear property line.
- No flood plain exists on this site per F.I.R.M. #29183C0230G, dated: January 20, 2016.
- Topographic information is per U.S.G.S. topography.
- Boundary information provided per deed.
- All homes shall have a minimum of 2 off-street parking places with 2-car garages.
- All proposed utilities must be located underground.
- Maximum slope on yard slopes will be 3:1.
- Any signage will require a separate sign permit.
- All offsite disturbed areas on developed lots are to be sodded.
- Lots 1, 2 & 7 sanitary service to be provided by private grinder pump.
- All gravity sanitary laterals are to be schedule 40 PVC.



Plan View



Locator Map

## Drawing Index

- 1 COVER SHEET
- 2 NOTES
- 3 DEMOLITION PLAN
- 4 SITE PLAN
- 5 GRADING PLAN
- 6 WATER PLAN
- 7 SEDIMENT & EROSION CONTROL PLAN
- 8 SEWER PROFILES & BASIN SECTIONS
- 9 PRE-DEVELOPED DRAINAGE AREA MAP
- 10 POST-DEVELOPED DRAINAGE AREA MAP
- 11 EROSION CONTROL DETAILS
- 12 SEWER DETAILS
- 13-14 WATER DETAILS
- 15-18 CONSTRUCTION DETAILS

## Benchmarks Project

REFERENCE BENCHMARK: F149 ELEV 542.80 (NAVD88 DATUM) DESCRIBED BY NATIONAL GEODETIC SURVEY 1949. AT O'FALLON, ST. CHARLES COUNTY, MISSOURI ON THE WABASH RAILROAD, ONE BLOCK EAST OF THE STATION, IN THE SOUTHEAST CORNER OF ST. MARY INSTITUTE YARD (NOW O'FALLON CITY HALL), 40 FEET EAST OF THE CENTER OF HIGHWAY M AND 45 FEET NORTH OF THE CENTERLINE OF THE MAIN TRACK. A STANDARD DISK STAMPED F 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 6 INCHES ABOVE GROUND.

## Site

SITE BENCHMARK: ELEV 570.76 CURB INLET ON THE EAST SIDE OF EMGE ROAD. LOCATED 28.5 FEET SOUTHEAST OF THE INTERSECTION OF EMGE ROAD AND SCHOEN MORGAN.

**VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A**

**SEEDING RATES:**  
**PERMANENT:**  
 Tall Fescue - 150 lbs./ac.  
 Smooth Brome - 100 lbs./ac.  
 Combined - Fescue @ 75 lbs./ac. AND Brome @ 50 lbs./ac.  
**TEMPORARY:**  
 Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)  
 Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

**SEEDING PERIODS:**  
 Fescue or Brome - March 1 to June 1  
 August 1 to October 1  
 Wheat or Rye - March 15 to November 1  
 Oats - March 15 to September 15

**MULCH RATES:**  
 100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

**FERTILIZER RATES:**  
 Nitrogen 30 lbs./ac.  
 Phosphate 30 lbs./ac.  
 Potassium 30 lbs./ac.  
 Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

## Legend

600.00	EXISTING LABELS	□	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	□	EXIST. AREA INLET
GI	SINGLE CURB INLET	■	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	■	PROPOSED AREA INLET
AI	AREA INLET	■	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	⊙	EXIST. SANITARY MANHOLE
GI	GRATE INLET	⊙	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	⊙	PROPOSED MANHOLE
MH	MANHOLE	⊙	POWER POLE
FE	FLARED END SECTION	⊙	GUY WIRE
EP	END PIPE	⊙	LIGHT STANDARD
CP	CONCRETE PIPE	⊙	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	⊙	WATER METER
CMP	CORRUGATED METAL PIPE	⊙	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	⊙	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	⊙	TELEPHONE PEDESTAL
CO	CLEAN OUT	⊙	SIGN
.....	SLOPE LIMITS	⊙	TREE
---	DRAINAGE SWALE		
---STM---	EXISTING STORM SEWER		
---SAN---	EXISTING SANITARY SEWER		
---W---	EXISTING WATER LINE		
---FO---	EXISTING FIBER OPTIC LINE		
---GAS---	EXISTING GAS LINE		
---UGE---	EXISTING UNDERGROUND ELECTRIC		
---OHW---	EXISTING OVERHEAD ELECTRIC		
---CTV---	EXISTING CABLE TV LINE		
---T---	EXISTING TELEPHONE LINE		
---	PROPOSED STORM SEWER		
---	PROPOSED SANITARY SEWER		
---X---	FENCE LINE		
---	SAWCUT LINE		

## Conditions of Approval From Planning and Zoning:

The approval is conditional upon the following Municipal Code requirements being provided in conjunction with the Construction Site Plans:

- A complete listing of Covenants, Codes, and Restrictions shall be submitted to the City for review and approval. City of O'Fallon review criteria is located in the Subdivision Code. The CCR's shall address how the proposed detention basin will be accessed and maintained.
- All gravity sanitary laterals are to be schedule 40 PVC.
- Provide a street light a maximum of 300' from the nearest street light.
- Additional rip rap may be required on Lot 2.
- The tree preservation calculations do not appear to accurately account for the grading that will be required for the proposed water detention area. The calculations shall be reviewed to ensure that the City's tree preservation codes are met.
- The existing sidewalk adjoining the curb along Emge Road will need to be a minimum width of five (5) feet as reviewed on the Construction Plans.

## Utility Contacts

**Sanitary Sewers**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-240-2000

**Water**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 Contact: 636-240-2000

**Storm Sewer**  
 City of O'Fallon  
 100 N. Main St.  
 O'Fallon, MO. 63366  
 636-240-2000

**Electric**  
 Ameren Missouri  
 200 Callahan Road  
 Wentzville, MO. 63385  
 636-639-8312

**Gas**  
 Spire Gas  
 6400 Graham Road  
 St. Louis, MO. 63134  
 314-522-2297

**Telephone**  
 CenturyLink  
 1151 Century Tel Dr.  
 Wentzville, MO. 63385  
 636-332-7261

**Fire District**  
 O'Fallon Fire Protection District  
 111 Laura K Dr.  
 O'Fallon, MO. 63366  
 636-272-3493

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
 7:00 A.M. To 7:00 P.M. Monday Through Sunday  
 June 1 Through September 30  
 6:00 A.M. To 8:00 P.M. Monday Through Friday  
 7:00 A.M. To 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is 2.67 Acres  
 The area of land disturbance is 0.44 Acres  
 Number of proposed lots is 7  
 Building setback information. Front 25 feet  
 Side 6 feet  
 Rear 25 feet

\* The estimated sanitary flow in gallons per day is 2,590 GPD  
 \* Tree preservation calculations:  
 Existing Trees (Per 2007) = 2.02 Acres x 20% = 0.40 Acres (To be saved)  
 Saved Trees = 0.47 Acres (23%)  
 Trees Removed = 1.55 Acres (77%)

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

CITY OF O'FALLON  
 COMMUNITY DEVELOPMENT DEPARTMENT  
 ACCEPTED FOR CONSTRUCTION  
 BY: [Signature] DATE **DECEMBER 14, 2021**  
 PROFESSIONAL ENGINEER'S SEAL  
 INDICATES RESPONSIBILITY FOR DESIGN

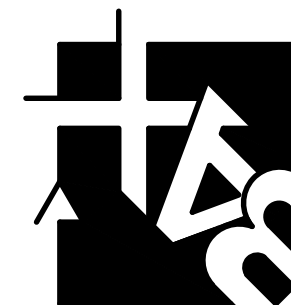
PROJECT TITLE:

ELLA'S PLACE

EMGE ROAD  
 CITY OF O'FALLON  
 ST. CHARLES COUNTY  
 MO. 63366

Issue Date: 09/26/2018

ENGINEERING  
 PLANNING  
 SURVEYING  
 221 Point View Blvd.  
 St. Charles, MO 63301  
 636-928-5562  
 FAX 928-1718



DISCLAIMER OF RESPONSIBILITY  
 I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or projects.



Jeffrey B. Simmons  
 CIVIL ENGINEER  
 2007030831

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REVISIONS

DATE	CITY COMMENTS
11/29/18	CITY COMMENTS
01/09/19	CITY COMMENTS
03/22/21	CLIENT COMMENTS
05/05/21	CITY COMMENTS
05/21/21	CITY COMMENTS

Developer / Owner:  
 Schneider Custom Homes  
 429 North Main Street  
 O'Fallon, MO 63366  
 636-240-0930

COVER SHEET

P+Z No. #19-007760

Approval Date: 11/05/2020

City No. #

Page No.

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