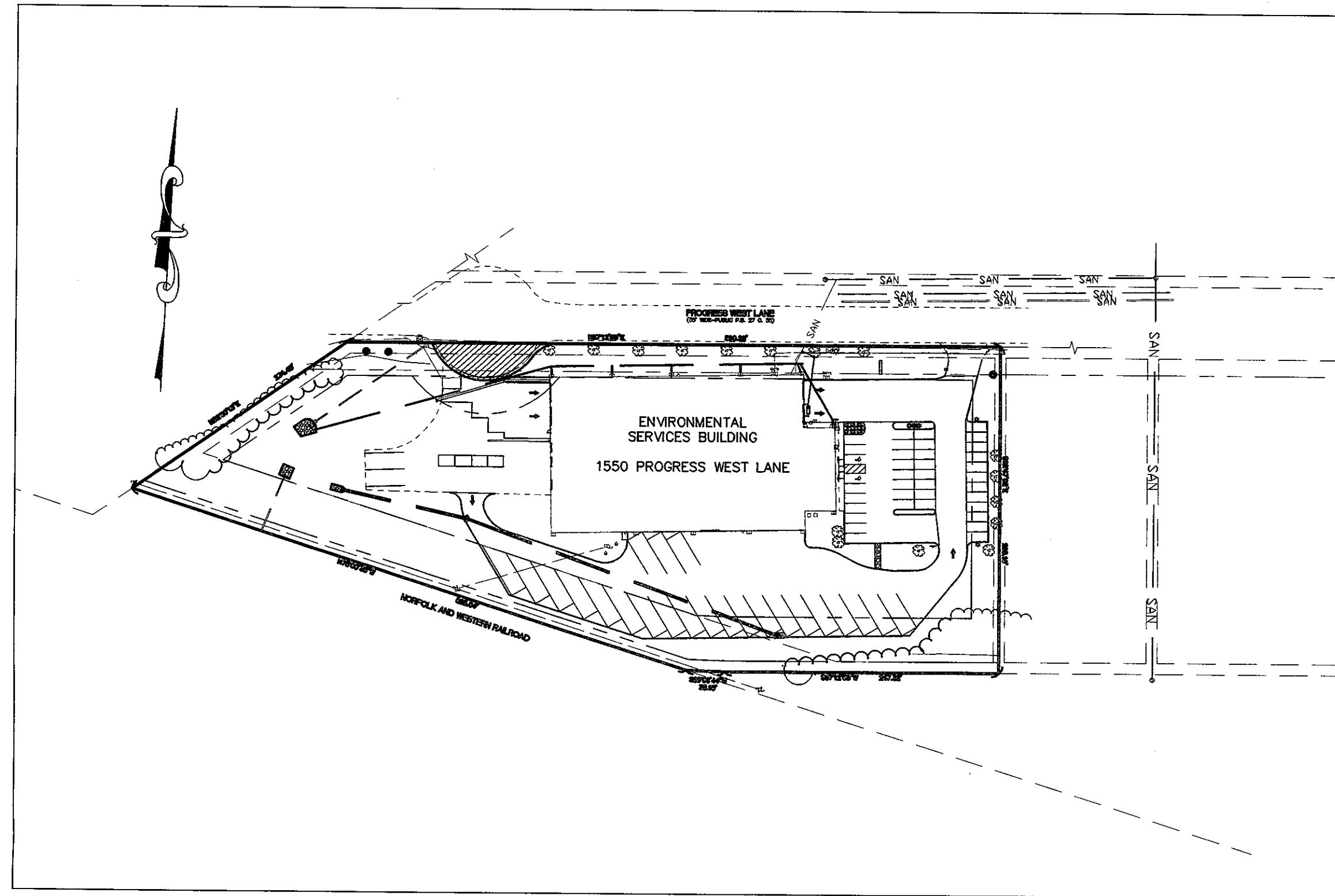
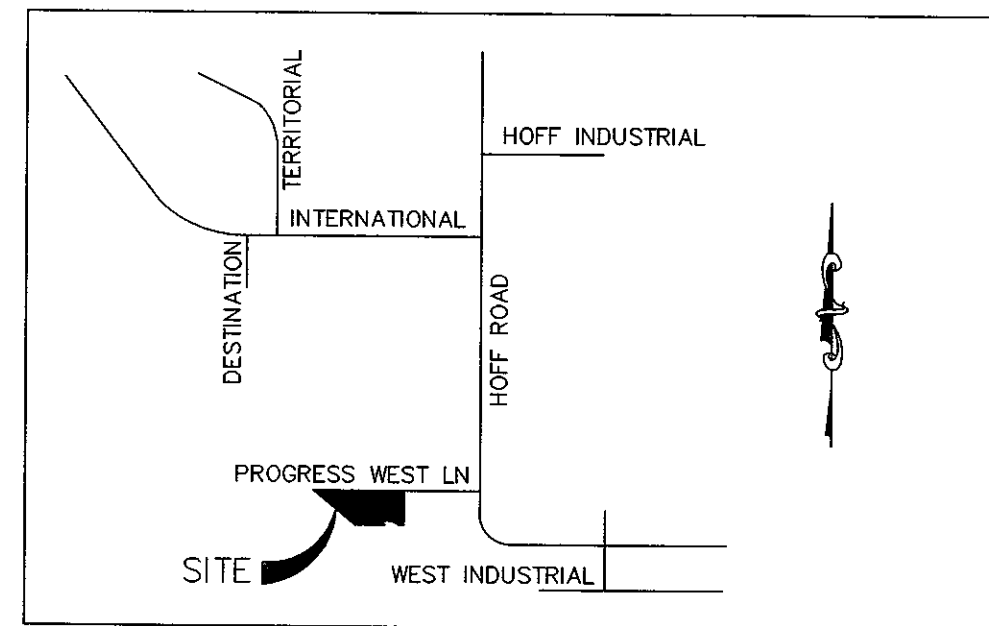


# A SET OF CONSTRUCTION PLANS FOR Renovations for the City of O'Fallon Environmental Services Building

A TRACT OF LAND BEING ALL OF LOT 1 OF "PROGRESS WEST INDUSTRIAL PARK" AS RECORDED IN PLAT BOOK 27, PAGE 35, WITHIN FRACTIONAL SECTION 26, TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN  
CITY OF O'FALLON  
ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

## Development Notes:

- AREA OF TRACT: 4.07 ACRES (WITHOUT RIGHT-OF-WAY DEDICATION)
- THIS PROPERTY IS A PART OF THE PROPERTY REFERENCED AS PARCEL I.D. NUMBER 2-0058-6252-00-0001.0000000 OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE.
- SITE ADDRESS: 1550 PROGRESS WEST LANE O'FALLON, MISSOURI 63366
- EXISTING ZONING: I-2 HEAVY INDUSTRIAL DISTRICT, CITY OF O'FALLON
- PROPOSED USE: OFFICE WAREHOUSE FOR PARKING & MAINTENANCE OF ENVIRONMENTAL SERVICES TRUCKS
- OWNER: BENNETT LAND HOLDINGS LP 1700 W. TERRA LANE O'FALLON, MISSOURI 63366-2310
- SITE COVERAGE: SITE = 177,470 SQ. FT. (4.07 ACRES) EXISTING BUILDING = 34,283 SQ. FT. = 19% TOTAL PAVEMENT = 69,039 SQ. FT. = 39% TOTAL GREENSPACE = 74,148 SQ. FT. = 42%
- WE HAVE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND IN ST. CHARLES COUNTY, MISSOURI, BY SCALING THE PROPERTY IN REFERENCE TO THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM), ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 291830C02206, COMMUNITY PANEL NUMBER (CITY OF O'FALLON, 290316 0220 G, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016), BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONE:  
  
ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN

## Utility Contacts

Sanitary Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
Contact: 636-281-2858

Water  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
Contact: 636-281-2858

Electric  
Ameren UE  
200 Callahan Road  
Wentzville, MO 63385  
636-639-8312

Gas  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO 63134  
314-522-2297

Telephone  
Centurylink  
1151 Century Tel Dr.  
Wentzville, MO 63385  
636-332-7261

Charter Communications  
941 Charter Commons  
Town & Country, MO 63017  
1-888-438-2427

Fire Department  
O'Fallon Fire Protection District  
119 E. Elm St.  
O'Fallon, MO 63366  
636-272-3493

## Benchmarks Project

MODOT VRS STATION PRS1258813930  
ELEVATION=497.01 - NAVD 1988

## Site

INDICATED ON PLANS

## Grading Quantities:

3,600 C.Y. CUT (INCLUDES SUBGRADE)  
1,500 C.Y. FILL (INCLUDES 8% SHRINKAGE)  
2,100 C.Y. HEAVY

INCLUDES YARDAGE OF PAVEMENT TO BE REMOVED AND EXPORTED FROM SITE. SEE DEMOLITION PLAN FOR REMOVAL OF EXCESS CUT FROM SITE. THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

## Legend

600.00	EXISTING LABELS	UIP	USE IN PLACE
600.00	PROPOSED LABELS	TBR	TO BE REMOVED
CI	SINGLE CURB INLET	□	EXIST. SINGLE CURB INLET
DCI	DOUBLE CURB INLET	□	EXIST. AREA INLET
AI	AREA INLET	■	PROPOSED SINGLE CURB INLET
DAI	DOUBLE AREA INLET	■	PROPOSED AREA INLET
GI	GRATE INLET	■	PROPOSED GRATE INLET
DGI	DOUBLE GRATE INLET	⊙	EXIST. SANITARY MANHOLE
MH	MANHOLE	⊙	EXIST. STORM MANHOLE
FE	FLARED END SECTION	⊙	PROPOSED MANHOLE
EP	END PIPE	⊙	POWER POLE
CP	CONCRETE PIPE	⊙	GUY WIRE
RCP	REINFORCED CONCRETE PIPE	⊙	LIGHT STANDARD
CMP	CORRUGATED METAL PIPE	⊙	FIRE HYDRANT
CPP	CORRUGATED PLASTIC PIPE	⊙	WATER METER
PVC	POLY VINYL CHLORIDE (PLASTIC)	⊙	WATER VALVE
CO	CLEAN OUT	⊙	GAS VALVE
-----	SLOPE LIMITS	⊙	TELEPHONE PEDESTAL
-----	DRAINAGE SHALE	⊙	SIGN
---STM---	EXISTING STORM SEWER	⊙	TREE
---SAN---	EXISTING SANITARY SEWER	⊙	
---W---	EXISTING WATER LINE	⊙	
---FO---	EXISTING FIBER OPTIC LINE	⊙	
---GAS---	EXISTING GAS LINE	⊙	
---UGE---	EXISTING UNDERGROUND ELECTRIC	⊙	
---OHW---	EXISTING OVERHEAD ELECTRIC	⊙	
---CTV---	EXISTING CABLE TV LINE	⊙	
---T---	EXISTING TELEPHONE LINE	⊙	
---	PROPOSED STORM SEWER	⊙	
---	PROPOSED SANITARY SEWER	⊙	
-X-X-	FENCE LINE	⊙	
---	SAWCUT LINE	⊙	

## Drawing Index

- COVER SHEET
- COMMERCIAL NOTES
- DEMOLITION PLAN
- SITE PLAN
- GRADING PLAN
- PROFILES
- EXISTING DRAINAGE AREA MAP
- PROPOSED DRAINAGE AREA MAP
- DETAILS
- DETAILS

## Conditions of Approval From Planning and Zoning

- The Landscape Plans for the interior landscape area shall be submitted with Construction Plans.
- The rear one-way drive aisle shall have a minimum width of 19 feet. Although the covered truck wash is not a part of this site plan, consideration should be given to the drive aisle width with respect to its future location.
- The size of the truck parking spaces shall be configured so that trucks do not encroach into the minimum drive aisle.

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is 4.07 acres.

The area of land disturbance is 3.40 Acres

Number of proposed lots is one.

Building setback information: Front = 30 feet

Side = 25 feet

Rear = 50 feet

Minimum Lot Width = 75 feet

Minimum Lot Area = 5 acres, unless Industrial District

Maximum Lot Coverage = 50% by structure

Maximum Height = 50 feet

\* The estimated sanitary flow in gallons per day is 780

\* Parking calculations

Office: 1 space per 300 sq. ft. floor space

Warehouse & Storage Facility: 1 space per employee

3,659 sq. ft./300 sq. ft. x 1 space = 12.20 spaces

3 employees x 1 space = 3 spaces

Required parking spaces = 16 spaces

Provided parking spaces = 38 spaces (including 2 accessible spaces plus an additional 25 truck parking spaces to the south and west of the building.

Loading Spaces: 1 space for gross floor area exceeding 5,000 sq. ft. and

1 space per additional 20,000 sq. ft. gross floor area

1 space + (34,283 sq. ft. - 5,000 sq. ft.)/20,000 sq. ft. x 1 space = 3 spaces

Required loading spaces = 3 spaces

Provided loading spaces = 3 spaces

\* Tree preservation calculations

Tree Preservation Requirements: 20% of existing trees or 15 trees per acre (whichever is greater) shall be preserved.

Required Tree Preservation = 18 trees x 0.20 = 3.6 trees

= 0.67 acres trees x 0.20 = 0.13 acres trees

Provided Tree Preservation = 16 trees (89%)

= 0.67 acres - 0.51 acres tree removal

= 0.16 acres trees preserved (24%)

\* Landscaping Requirements:

1 tree per 40 feet street frontage

439.83 feet street frontage (excludes entrances)/40 feet x 1 tree

Required Trees = 11 trees

Provided Trees = 3 new trees + 8 existing trees

1 tree per 4,000 sq. ft. of landscaped open space

0.16 acres (24%) trees preserved. No additional trees proposed.

Interior Landscape Area = 6% minimum interior parking lot

0.06(38 spaces x 270 sq. ft.) = 615.60 sq. ft. Interior Landscape Area

Total Interior Landscape Area Provided = 1,152.31 sq. ft.

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.



CALL BEFORE YOU DIG!  
1-800-DIG-RITE

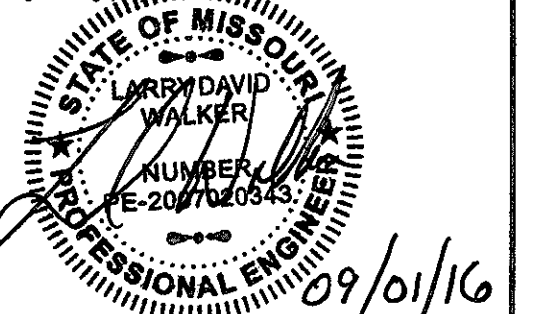
CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: \_\_\_\_\_ DATE \_\_\_\_\_  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE:  
RENOVATIONS FOR THE  
CITY OF O'FALLON  
ENVIRONMENTAL  
SERVICES BUILDING

ENGINEERING  
PLANNING  
SURVEYING  
221 Point West Blvd.  
St. Charles, MO 63301  
636-928-9552  
FAX 636-928-1718



DISCLAIMER OF RESPONSIBILITY  
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering work shown on this sheet.



David D. Walker  
Civil Engineer  
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Surveying Authority No. 000144  
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REVISIONS	
NO.	DESCRIPTION
08-19-16	CITY COMMENTS
08-31-16	ADDENDUM 1

Developer / Owner:  
CITY OF O'FALLON  
100 N. MAIN STREET  
O'FALLON, MO 63366  
636-379-5513

COVER SHEET

P+Z No. #05-11.01  
Approved 06-02-16  
City No. #

Page No.  
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