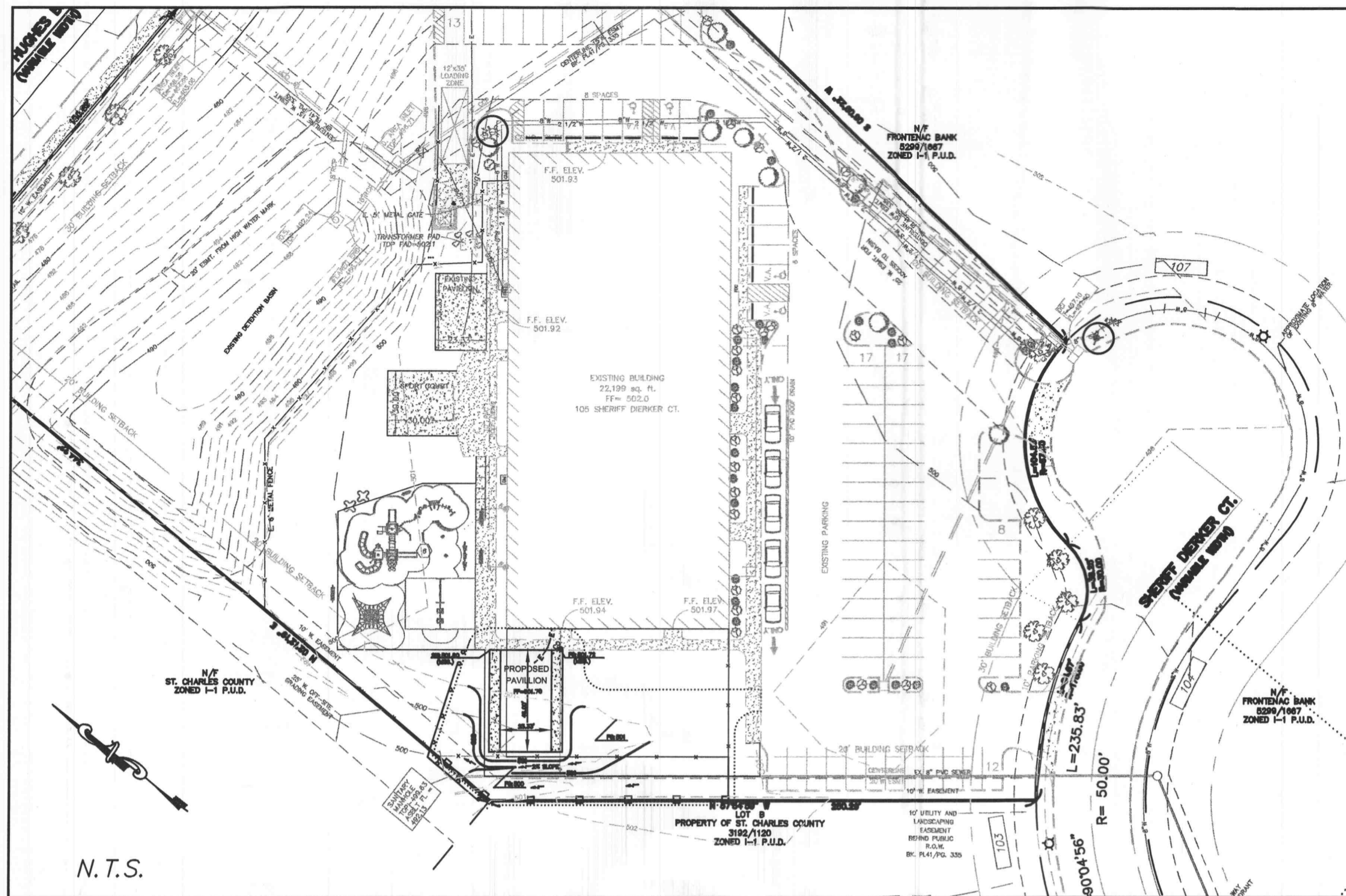


# A SET OF CONSTRUCTION PLANS FOR FAMILY SUPPORT SERVICES

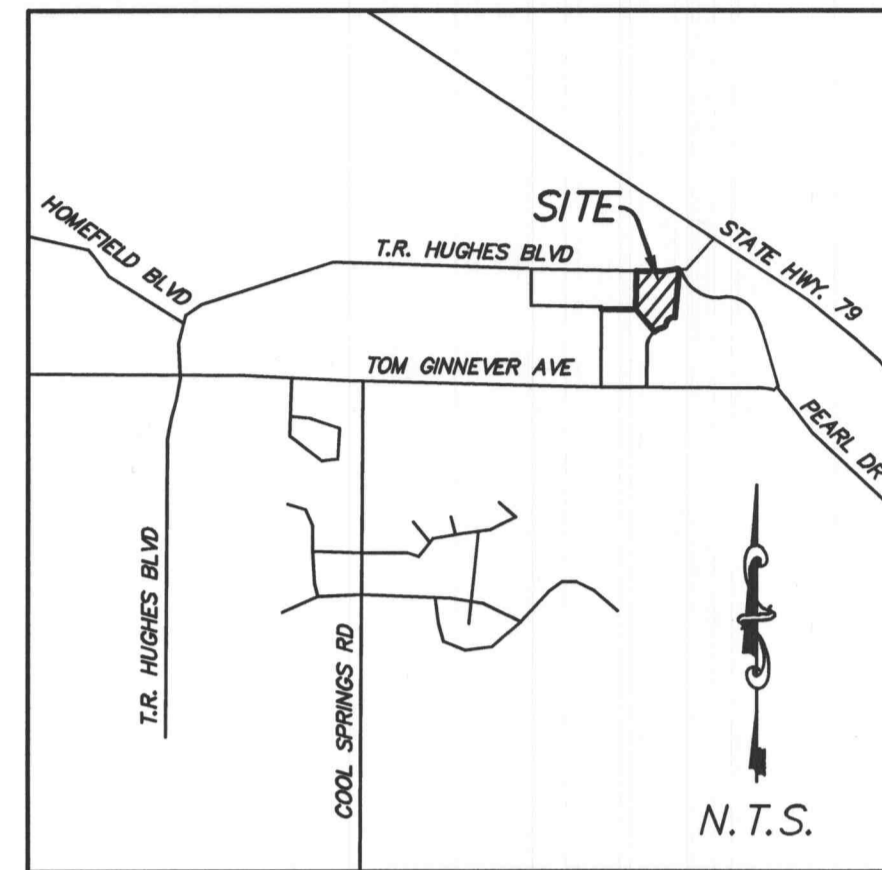
**NEW PAVILLION**  
A TRACT OF LAND BEING PART OF  
FRACTIONAL SECTION 33,  
TOWNSHIP 47 NORTH, RANGE 3 EAST,  
O'FALLON, MISSOURI

RECEIVED  
MAY 16 2013  
BY: \_\_\_\_\_

**FAMILY SUPPORT SERVICES  
NEW PAVILLION**  
107 SHERIFF DIERKER COURT  
O'FALLON, MISSOURI 63376  
PRS PROJECT # 01212.MIHU.00R  
DRAWN: C.L. 04/16/13  
CHECKED: D.T. 04/17/13



Plan View



LOCATION MAP

## CONDITIONS OF APPROVAL FROM PLANNING AND ZONING

- 1) THE PAVILLION WILL BE 1,073 S.F. IN SIZE.
- 2) THE PETITIONER WILL BE REMOVING THE FENCE AND LANDSCAPING AS PART OF THE CONSTRUCTION AND HAS INDICATED ON THE PLANS THAT THE FENCE AND LANDSCAPING WILL BE REPLACED WHEN CONSTRUCTION IS COMPLETE.
- 3) GRADING AND DRAINAGE FOR THE ACTIVITIES AREA WILL BE PER CITY OF O'FALLON REQUIREMENTS.

### DRAWING INDEX

SHEET NUMBER	DESCRIPTION
1	COVER SHEET
2	O'FALLON COMMERCIAL NOTES SHEET
3	SITE, UTILITY AND GRADING PLAN
4	O'FALLON AND SITE SPECIFIC DETAIL SHEET

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. To 8:00 P.M. Saturday and Sunday

Construction work to be done outside of these hours requires prior written approval from the City Administrator or City Engineer.

\* The area of this phase of development is 3,523 S.F.

The area of land disturbance is 4,330 S.F.

Number of proposed lots is NONE

Building setback information. Front 30'

Side 20'

Rear 35'

\* The estimated sanitary flow in gallons per day is NO INCREASE

\* Parking calculations

NO MODIFICATIONS

\* Tree preservation calculations

NO TREES ARE PROPOSED TO BE REMOVED OR PLANTED. ANY VEGETATION DESTROYED OR DAMAGED DURING CONSTRUCTION IS TO BE REPLACED IN LIKE KIND.

### BENCHMARK INFO

PROJECT BENCHMARK:

U.S.G.S. B.M. F 149: ELEVATION = 543.44 (MEASURED)  
542.80 (RECORD) - PER TOM GINNEVER ROAD PLANS

DESCRIBED BY USGS 1949, AT O'FALLON, ST. CHARLES COUNTY, MISSOURI ON THE WABASH RAILROAD, ONE BLOCK EAST OF THE STATION, IN THE SOUTHWEST CORNER OF ST. MARY'S INSTITUTE YARD (NOW O'FALLON CITY HALL), 40 FEET EAST OF THE CENTER OF HIGHWAY M AND 45 FEET NORTH OF THE CENTERLINE OF THE MAIN TRACK. A STANDARD DISK STAMPED F 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 6 INCHES ABOVE THE GROUND.

SITE BENCHMARK:

SITE BM 1: ELEVATION = 497.89

"SQ." ON THE CONCRETE BASE OF THE WEST GATE POST AT THE CENTER ENTRANCE TO FORT ZUMWALT NORTH HIGH SCHOOL 40'± SOUTH OF THE CENTERLINE OF TOM GINNEVER AVE.

SITE BM 2: ELEVATION = 499.63

SANITARY SEWER MANHOLE (TOP OF RIM), APPROX. 71' SOUTHWEST OF EX. SOUTHWEST BUILDING CORNER, ±300' WEST OF THE CENTERLINE OF SHERIFF DIERKER COURT.

PER F.I.R.M. MAP 29183C0235 E, REVISED AUGUST 2, 1996, THIS PARCEL IS IN ZONE X, AND IS DESIGNATED AS BEING OUTSIDE THE 500 YEAR FLOODPLAIN.

### ESTIMATED SANITARY FLOW

30 GAL/CAP/DAY  
153 STUDENTS AND STAFF  
30 GPCD X 153 = 4,590 GPD = .0071 CFS

DAILY PEAK FLOW RATE  
30 GAL/CAP/DAY  
153 STUDENTS AND STAFF  
8 HOURS

4 X FOR PEAK FLOW  
30 GPCD X 3 = 90 GPCD X 153 = 13,770.00 GPD X 4 = 55,080.00 GPD = .08522 CFS

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

All non-reinforced concrete shall be 4,000 p.s.i. at 28 days.

### LEGEND

Existing Property Lines	□	Existing Pull Box	C&G	Curb & Gutter
Existing Right-of-Way	○	Existing Pole Base with Mast Arm	W/	With
Proposed Right-of-Way	FND	Found Iron Pin	TSB	Traffic signal control box
Temporary Construction Easement	○	Water Meter	TCB	Cantilevered traffic light
Construction (Slope) Limits	WM	Project Benchmark	R/W	Right-of-way
Sanitary Sewer (Proposed)	○	Power Pole	MB	Mailbox
Sanitary Sewer (Existing)	○	Light Standard	ASPH	Asphalt
Storm Sewer (Proposed)	○	Curb Inlet	SHLDR	Shoulder
Storm Sewer (Existing)	○	Double Curb Inlet	RCP	Reinforced Concrete Pipe
Existing gas line	DCI	Special Curb Inlet	CMP	Corrugated Metal Pipe
Existing water line	SCI	Special Double Curb Inlet	CIP	Cast Iron Pipe
Underground Telephone	SDCI	Grate Inlet	PVC	Polyvinyl Chloride
Buried Cable	GI	Area Inlet	VCP	Vitrified Clay Pipe
Tee & Valve	AI	Double Area Inlet	PDE	Permanent Drainage Easement
Hydrant	DAI	Concrete Collar	LA	Landscaped Area
Cap	CC	Flared End Section	(TBR)	To Be Removed
Lot or Building Number	FES	End Pipe	(TBR&REL)	To Be Removed & Relocated
Temporary Fence Line	EP	Light Standard	(TBR&R)	To Be Removed & Replaced
Existing Fence Line	LS	Manhole	(DND)	Do Not Disturb
Existing Tree Line	MH	Special Manhole	(TBA)	To Be Abandoned
Street Sign	SMH	Concrete Pipe	(TYP)	Typical
Gas Valve	CP	Underground telephone	(UIP)	Use in Place
Guy Wire	UT	Underground	(TBR&RBO)	To Be Removed And Relocated By Others
Existing Tree or Shrub	UG	Concrete	(TBRBO)	To Be Removed By Others
Grouted Rip-Rap	CONC	Flowline	(ATG)	Adjust To Grade
Asphalt Pavement	FL	Portland cement concrete	(ATGBO)	Adjust To Grade By Others
Concrete Pavement	T	Existing Box	EB	Existing Box
Concrete Sidewalk	PCC	Existing Meter	EM	Existing Meter
Existing Controller	NR	Existing Telephone	○	Existing Telephone

### UTILITY CONTACTS

**Sanitary Sewers**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

**Water**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
Contact: 636-281-2858

**Storm Sewer**  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO. 63366  
636-281-2858

**Electric**  
Ameren UE  
200 Callahan Road  
Wentzville, MO. 63385  
636-639-8312

**Gas**  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO. 63134  
314-522-2297

**Telephone**  
Century Tel  
1151 Century Tel Dr.  
Wentzville, MO. 63385  
636-332-7261

**Fire District**  
O'Fallon Fire Protection District  
119 E. Elm St.  
O'Fallon, MO. 63366  
636-272-3493

### PROJECT CONTACTS

ENGINEER  
PICKETT, RAY & SILVER, INC.  
CONTACT: CHRISTINE LOOK  
22 RICHMOND CENTER COURT  
ST. PETERS, MISSOURI 63368  
636-397-1211

ARCHITECT  
M+H ARCHITECTS  
CONTACT: MARK FARMER  
2150 SCHUETZ ROAD STE. 200  
ST. LOUIS, MISSOURI 63146  
314-878-3500

OWNER/DEVELOPER  
COMMUNITY LIVING  
CONTACT: MR. MARTY WEXLER  
1040 ST. PETERS, MISSOURI 63376  
636-970-2800

CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: [Signature] DATE 6-10-13  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

City of O'Fallon Standard Commercial Notes and Details - June 2010

**Developer / Owner Information**  
CONTACT: MR. MARTY WEXLER  
ADDRESS: 1040 ST. PETERS HOWELL ROAD  
ST. PETERS, MO. 63376  
PHONE: (636) 970-2800

**FAMILY SUPPORT SERVICES**

**CITY OF O'FALLON COVER SHEET**

P+Z No. 4604.04  
Approval Date 04-04-2013

City No.

Page No.

SHEET 1 OF 4

**UTILITY NOTE**

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.

Bldg