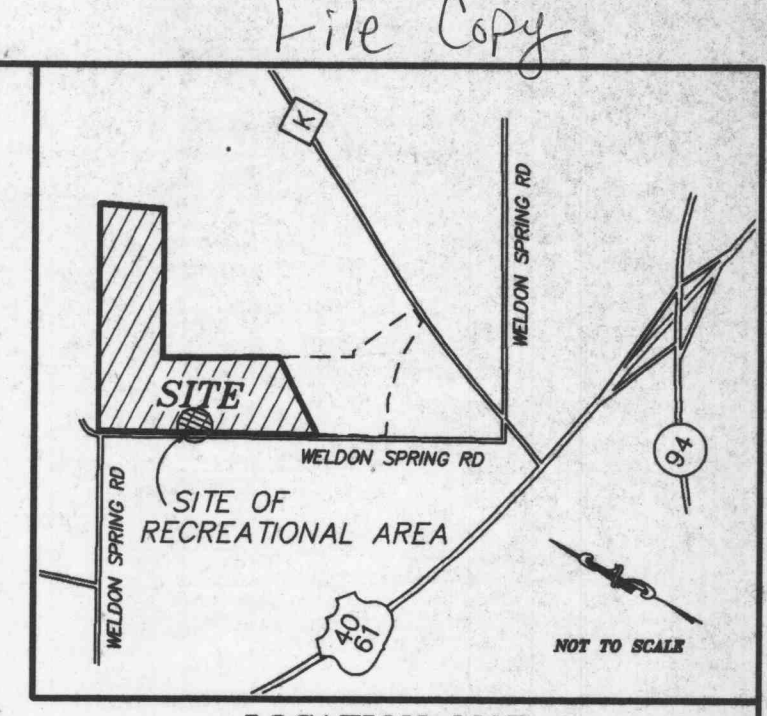


FIELDSTONE FARMS

(FORMERLY KNIGHT-PALMER TRACT)

RECREATION AREA - SITE PLAN

A TRACT OF LAND BEING PART OF
 LOTS 1, 2 AND 3 OF THE JAMES CAMPBELL
 ESTATE AS RECORDED IN PLAT BOOK 3, PAGE 51,
 WITHIN U.S. SURVEY 3225, TOWNSHIP 46 NORTH, RANGE 3 EAST
 ST. CHARLES COUNTY, MISSOURI

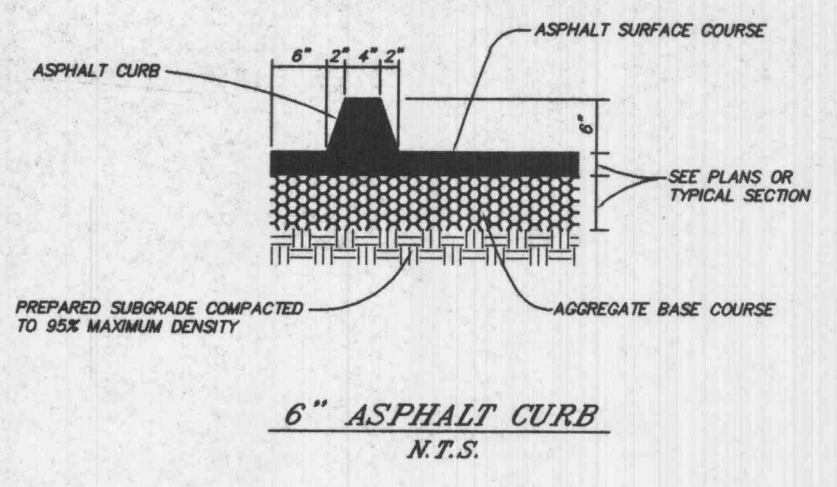


LOCATION MAP
 GENERAL NOTES

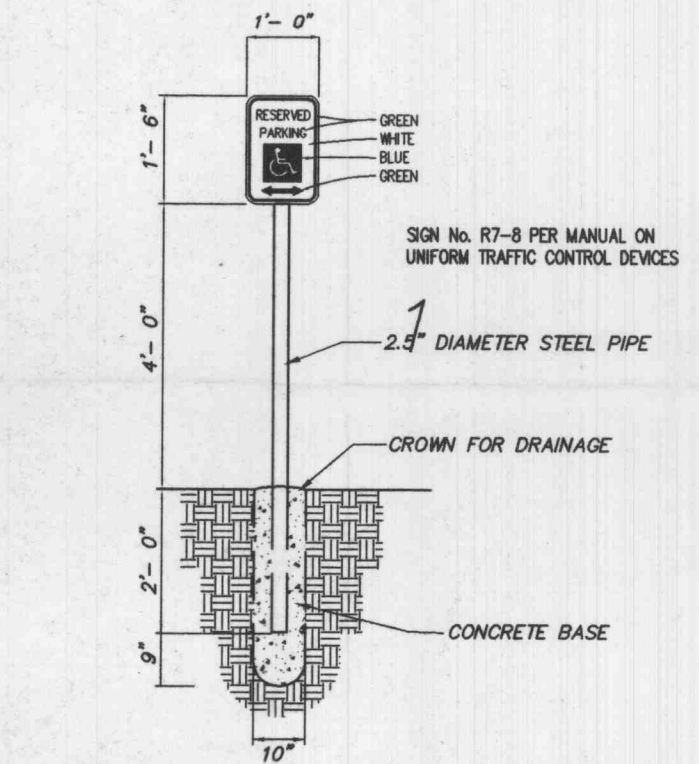
- Present Zoning: P.U.D. R-1
 Proposed Zoning: P.U.D. R-1, Single Family Residential
- Proposed Use: Recreation Area
- Area of recreational tract: 1.27 acres
- Trash enclosure shall be constructed of some materials as those used for building exterior. Enclosure shall be 6' in height.
- Project is Served By:
 A. Missouri American Water Co.
 B. St. Charles Gas Company
 C. S.W. Bell Telephone Company
 D. Duckett Creek Sewer District
 E. Union Electric Company
 F. Cottleville Fire Protection District
 G. School District - Francis Howell R 3
 H. Mail Service - St. Charles Post Office
- All Utilities will be available, functioning & usable at time project is ready for occupancy, and shall be located underground.
- Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
- Total Parking: 27 Spaces (includes 1 Handicap Parking Space) = 1 P.S. / 10 Res. Lots in Subdivision.
- All Landscaping shall be in conformance with City of O'Fallon Zoning Ordinance & Requirements.
 All proposed trees shown shall be credited to street tree requirements.
- No lighting is proposed for the recreation area, other than the street lights shown hereon
- Building height shall be in accordance with City of O'Fallon requirements. (See Elevation Plans.)
- Architectural treatment to be provided on all sides of buildings.
- For exact building dimensions, see architectural plans.
- Grading and drainage shall be per City of O'Fallon requirements.
- All easements shall be provided on record plat.
- No slope shall be greater than 3:1 during construction and at final grade.
- Development shall comply with General Subdivision set forth in Article 5, Section 415.170 of the Flood Hazard Prevention Ordinance 1437.
- This recreational area is not in a flood plain area per FEMA map no. 29183C0105 D, dated december 15, 1992
- Sanitary and storm sewers shall be designed per Duckett Creek Sanitary District & City of O'Fallon specifications.
- Storm Water Detention shall be provided for the entire Knight-Palmer Subdivision shown on Improvement Plans prepared by Pickett, Ray & Silver, Inc.
- This site shall comply with Article 26 of the City of O'Fallon Zoning Ordinance.
- There are no wetlands on this site.
- Tree preservation and landscaping requirements by the City of O'Fallon zoning ordinance will be provided with construction plans. (calculations were previously approved on May 21, 1996)
- This development complies with comprehensive plan.
- Present Owners: William Knight, et. al.
 6941 Weldon Spring Road
 St. Charles, Missouri 63304
 R.S. Palmer
 6961 Weldon Spring Road
 St. Charles, MO 63304
 The Jones Company
 13100 Manchester Road
 St. Louis, Missouri 63131
- Developer:
- This plat is not for record
- Dimensions are to back of curb
- Fences shall require a separate permit.
- For construction details and information, see the overall improvement plans for the entire development.

AREA COVERAGE CALCULATIONS

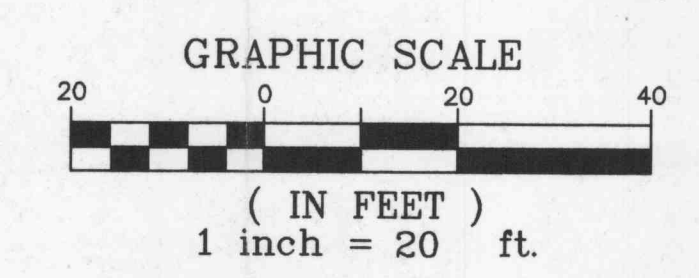
Buildings	=	765 sq.ft.
Paved Areas	=	8,655 sq.ft.
Concrete Pool Area / Sidewalks	=	8,730 sq.ft.
Landscaped / Green Areas	=	37,171 sq.ft.
Total Recreation Area	=	55,321 sq.ft.



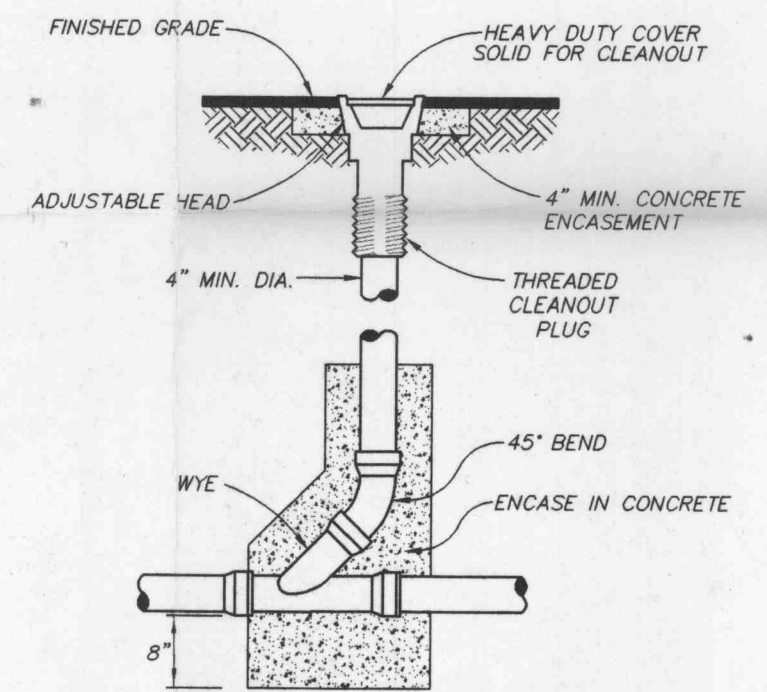
6" ASPHALT CURB
 N.T.S.



HANDICAPPED SIGN DETAIL
 N.T.S.



APPROVED
 Revisions per
 Duckett Creek
 7/24/97 Colleen Krause



CLEANOUT DETAIL
 N.T.S.

SETBACKS
 FRONT: 25 FEET
 SIDE: 6 FEET
 REAR: 25 FEET

1 Denotes street address

REV. 1-21-97, PER DUCKETT CREEK SEWER DISTRICT
 REV. 1-8-97, PER CITY OF O'FALLON WATER SERVICE
 REV. 1-4-97, PER CITY OF O'FALLON
 REV. 9-4-96, PER CITY OF O'FALLON
 REV. 07-15-96, PER CITY OF O'FALLON
 COMMENTS DATED 07-02-96 (HDCR. SIGNS)
 REV. 06/26/96 PER CITY OF O'FALLON COMMENTS R.D.W.

Exterior Planting Schedule

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
	15	PINUS SYLVESTRIS	SCOTCH PINE	6' TALL
	5	JUNIPERUS CHINENSIS	BAR HARBOR JUNIPER	1 GAL. MIN. 6' TALL
	14	PYRUS CALLERYANA	BRADFORD PEAR	2" CAL.
	30	BERBERIS THUNBERGI	DWARF BARBERRY	1 GAL.

ENGINEERS AUTHENTICATION
 The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically includes revisions after this date unless reauthenticated.

PICKETT, RAY & SILVER, INC.
 HAROLD J. BARTCH
 MISSOURI REGISTERED PROFESSIONAL ENGINEER
 E-17751
 Signature: _____
 Date: 1/28/97

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PICKETT RAY & SILVER
 Civil Engineers
 Planners
 Land Surveyors
 333 Mid Rivers Mall Dr.
 St. Peters, MO 63376
 397-1211 FAX 397-1104

FIELDSTONE FARMS
 (FORMERLY KNIGHT-PALMER TRACT)
 RECREATION AREA - SITE PLAN

DRAWN: D.G. DATE: 06-04-96
 CHECKED: _____ DATE: _____
 FIELD BOOK: _____ PROJECT #: 95-131
 JOB ORDER #: 34911

02-98-BU-133

C:\DRAWING\95131REC

UTILITY NOTE:
 UNDERGROUND FACILITY STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDED INFORMATION AND, THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. VERIFICATION OF LOCATION OF ALL UNDERGROUND STRUCTURES AND FACILITIES EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

N/F DONNAN, GLORIA
 1103 / 444
 ZONED R-1A

N/F SHANGO, LOYAL
 1295 / 1468
 ZONED R-1A