

**PROPOSED LOT 4B**  
 ADDRESS: 3015 HIGHWAY K  
 O'FALLON, MO  
 1.19 ACRES  
 51968 Sq. Ft.  
 "NO BUILDINGS"

**PROPOSED LOT 4A**  
 0.45 ACRES  
 19461 Sq. Ft.  
 "NO BUILDINGS"

LEGEND	
—	PROPERTY LINE
—AE	AERIAL ELECTRIC
—UE	UNDERGROUND ELECTRIC
—W	WATERLINE
—G	GAS LINE
—SS	STORM SEWER PIPE
—S	EXISTING SANITARY SEWER
—UGT	UNDERGROUND TELEPHONE
—U	UTILITY POLE
—O	EXISTING SANITARY MANHOLE
—H	FIRE HYDRANT AND VALVE
—V	WATER VALVE
—C	CURB INLET CATCH BASIN
—B	TELEPHONE RISER (BOX)

Easement Notes: As per First American Title Insurance Company, Commitment for Title Insurance, Commitment No. 49879, Effective dated January 25, 2000, Schedule B-II.

- Item No. 14:** Subject to pipeline easement in favor of Ajax Pipe Line Corporation recorded in Book 199, Page 365. (Does not appear to effect subject parcel - not located on property at time of survey)
- Item No. 15:** Subject to limits on rights of direct access to Highways K and N according to instruments recorded in Book 1529, Page 1251 and Book 1575, Page 607.
- Item No. 16:** Subject to terms and provisions of the temporary entrance agreement with Missouri Highway and Transportation Commission recorded in Book 1893, Page 207. Located at station 162+64.73 Highway 'K'.

I hereby certify that this survey plat was prepared for Bridgestone/Firestone, Inc., Sumitomo Bank Leasing and Financing, Inc., its successors and assigns and First American Title Insurance Company and that it is based upon a monumental land survey that was prepared under my supervision.

I further certify that there are no visible encroachments on the described premises by any improvements on any adjoining premises, no encroachments on adjoining premises by improvements on the described premises, except as indicated, and that there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as noted and that the property is not located in a flood plain.

The undersigned has relied upon First American Title Insurance Company Commitment #49879, dated January 25, 2000, for ownership and for the purpose of showing recorded easements and rights-of-way across said premises. The survey does not constitute a title search to determine ownership and easements of record.

This is to certify that this map or plat and survey on which it is based were made (i) in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM, and NSPS in 1997, and includes items 1, 2, 4, 5, 6, 8, 9, 10, 11, 14, 15, and 16 of Table A thereof, and (ii) pursuant to the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification) of an Urban Surveyor.

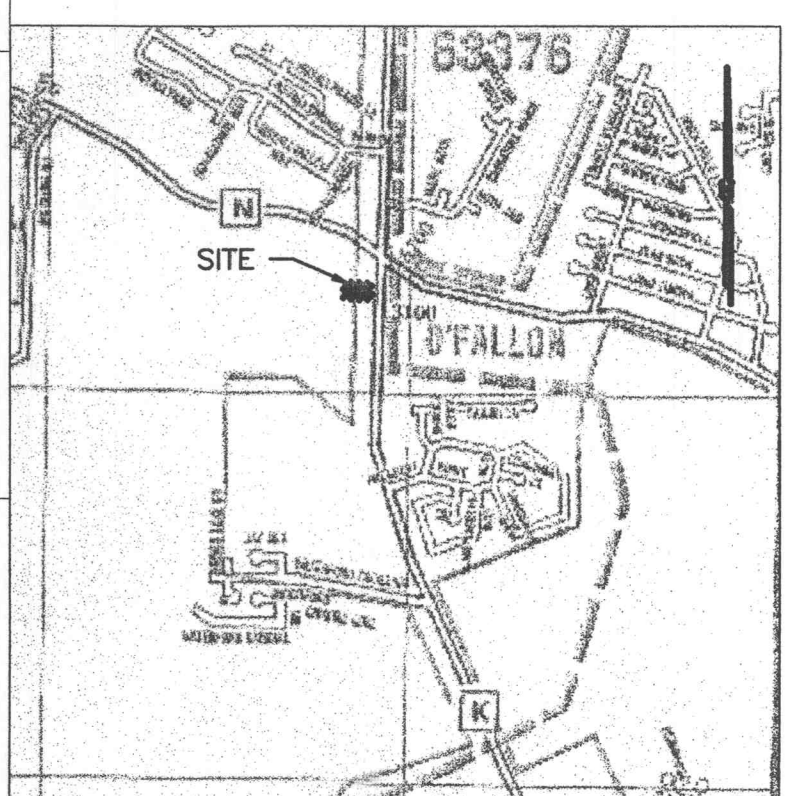
Two working days prior to the start of any excavation on this site, contractor shall call 1-800-DIG-RITE for utility location information.

All OSHA rules & regulations established for the type of construction required by these plans shall be strictly followed (ie. Trenching, Blasting, etc.)

Date \_\_\_\_\_  
 Daniel E. Maschmann, L.S. #1640  
 Registered Land Surveyor  
 State of Missouri  
 for Buescher Frankenberg Assoc., Inc.

**UTILITY INFORMATION**

WATER	GAS
OWNER ST. CHARLES COUNTY PUBLIC WATER SUPPLY DISTRICT No. 2 REPRESENTATIVE JEFF BLECKMANN ADDRESS P.O. BOX 967 O'FALLON, MO 63366 PHONE (636) 561-3737 SIZE & LOCATION _____	OWNER ST. CHARLES GAS COMPANY REPRESENTATIVE CLIFF GARRETT ADDRESS 1 WESTBURY SQUARE, BUILDING D ST. CHARLES, MO 63301 PHONE (636) 723-0494 SIZE & LOCATION _____
SEWER	TELEPHONE
OWNER DUCKETT CREEK SANITARY DISTRICT REPRESENTATIVE CLAUDETTE HUFFMAN ADDRESS 2950 GREENS BOTTOM ROAD ST. CHARLES, MO 63302 PHONE (636) 441-1244 SIZE & LOCATION _____	OWNER GENERAL TELEPHONE (GTE) REPRESENTATIVE JOE RUNKLES ADDRESS 680 PARR ROAD, BUILDING AA WENTZVILLE, MO 63385 PHONE (636) 332-7623 SIZE & LOCATION _____
ELECTRIC	SPECIAL NOTES
OWNER AMERENUE REPRESENTATIVE SUREN MEHTA ADDRESS 200 CALLAHAN ROAD WENTZVILLE, MO 63385 PHONE (636) 639-8307 SIZE & LOCATION 12KV, SINGLE PHASE OR THREE PHASE	_____



NOTES:

- North derived bearing of record for the south line of Lot 4 of Schnucks Addition to the City of O'Fallon as recorded in Plat Book 33, Page 375 in the office of the St. Charles County Recorder of Deeds. (N88°35'51"W)
- Underground facilities, structures and utilities have been plotted from available surveys and records. Therefore, their locations must be considered approximate only. There may be others, the existence of which is presently not known.
- Outboundary information as shown hereon as per Schnucks Addition to the City of O'Fallon as recorded in Book 33, Page 375 in the Office of the St. Charles County Recorder of Deeds.
- This site is "Zone X" areas as determined to be outside of the 500 year flood plain, as per FIRM, Flood Insurance Rate Map, for St. Charles Co., Missouri and incorporated Areas, Panel 115 of 250, map number 29183C0115 D, effective date: December 15, 1992.
- This site is "Zoned C-2" - General Business District.  
 Yard and setback requirements:  
 Front yard: 25' minimum  
 Side yard: None  
 Rear yard: None, except that where the rear line of a lot in this district abuts lots zoned residential or office, a rear yard of not less than 10 ft. shall be provided.  
 Height requirements:  
 No building or structure shall exceed a height of 50 ft.

Description: Proposed Lot 4B

A tract of land being part of Lot 4 of "Schnucks Addition to the City of O'Fallon" as recorded in Book 33, Page 375 of the St. Charles County Recorder of Deeds, being part of Lot 1 of the "Anton Hoester Prairie Farm" subdivision as surveyed by Fred R. Jacoby, County Surveyor, recorded in Surveyor's Record No. 6, Page 26 dated February 10, 1927 and part of vacated Route "N", being part of U.S. Survey 3225, Township 46 North, Range 3 East of the 5th P.M., in the City of O'Fallon, St. Charles County, Missouri, to wit:

Beginning at a found iron rod at the northeast corner of said Lot 4, also being in the west right-of-way line of Highway "K"; thence along the east line of said Lot 4 and said west right-of-way line S21°-21'-19"W 10.50 ft. to found iron rod, thence S00°-26'-46"E 161.80 ft. to a found iron rod at the southeast corner of said Lot 4; thence leaving said right-of-way line along the south line of said Lot 4 N88°-35'-51"W 300.16 ft. to a set iron rod; thence leaving the south line of said Lot 4 N00°-26'-46"W 171.87 ft. to a set iron rod in the north line of said Lot 4; thence along the north line of said Lot 4 N89°-33'-14"E 143.66 ft. to a found iron rod, thence S84°-44'-08"E 100.50 ft. to a found iron rod, thence N89°-33'-14"E 60.24 ft. to the point of beginning, containing 1.19 acres. Subject to any and all easements, restrictions, conditions, etc., of record.