

# A SET OF CONSTRUCTION PLANS FOR FIRST COMMUNITY CREDIT UNION

A TRACT OF LAND BEING PART OF  
PROPOSED LOT 2-A, PHEASANT POINT CENTER  
IN U.S. SURVEY 1696  
TOWNSHIP 46 NORTH, RANGE 3 EAST  
OF THE FIFTH PRINCIPAL MERIDIAN,  
ST. CHARLES COUNTY, MISSOURI  
PLAT BOOK 35, PAGES 248-249

## SITE WORK NOTES

### GENERAL

- EXISTING SITE CONDITIONS AND TOPOGRAPHY ARE SHOWN IN ACCORDANCE WITH A SITE SURVEY PREPARED BY BAX ENGINEERING, DATED 4/7/00 AND OTHER AVAILABLE INFORMATION.
- REFERENCED BENCHMARK: RM58 ELEV. 487.55 (USGS DATUM) CUT SQUARE ON NORTH HEADWALL OF CONCRETE BOX CULVERT NORTH OF DARDENNE CREEK ALONG WEST SIDE OF HIGHWAY K.  
SITE BENCHMARK: ELEV. 487.34 CUT CROSS ON SIDEWALK ON NORTH SIDE OF PHEASANT MEADOW DRIVE.  
CAUTION: CHECK BENCHMARK AGAINST OTHER KNOWN ELEVATIONS TO ASSURE THAT FLOOR ELEVATIONS, UTILITIES AND OUTSIDE GRADES (INCLUDING INFORMATION OBTAINED FROM EXISTING RECORDS) ARE ALL ON THE SAME DATUM. CALL ARCHITECT IMMEDIATELY IF ANY DISCREPANCY IS DISCOVERED. USE CIRCUIT METHOD IN CONSTRUCTION LEVELING TO CHECK FOR AND ELIMINATE ERRORS. FOR NEW SITES: LOCATE BUILDING CAREFULLY ON SITE. THE DIMENSIONS SHOWN ARE INTENDED TO PLACE THE BUILDING AT A CERTAIN LOCATION WITH ONE SPECIFIC ORIENTATION. CALL ARCHITECT IF ANY UNCERTAINTY EXISTS.
- SOIL BORING INFORMATION IS TAKEN FROM A REPORT PREPARED BY REITZ & JENS, INC., DATED 2/14/01. TEST BORING LOGS ARE BOUND AS AN APPENDIX TO THE SPECIFICATIONS.
- SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL WORK ADJACENT TO THE BUILDING AREA, SITE DIMENSIONS, AND LOCATION OF EXPANSION AND CONTROL JOINTS, NOT SHOWN.

### PAVEMENT/SIDEWALKS

- ASPHALT PAVING SECTIONS SHALL BE 3" ASPHALTIC CONCRETE (1" WEARING SURFACE ON 2" BINDER COURSE) ON 8" GRANULAR BASE ON 12" LIME STABILIZED SUBGRADE.
- BIKE PATH PAVING SECTION SHALL BE 3" ASPHALTIC CONCRETE (1" WEARING SURFACE ON 2" BINDER COURSE) ON 4" GRANULAR BASE ON 12" LIME STABILIZED SUBGRADE.
- CONCRETE PAVING SECTIONS (DRIVE-UP AREA) SHALL BE 5" CONCRETE WITH ONE LAYER OF 6X6 W2.9XW2.9 WWF ON 6" GRANULAR BASE ON 12" LIME STABILIZED SUBGRADE.
- CONCRETE ENTRANCE APRONS SHALL BE 8" CONCRETE WITH ONE LAYER OF 6X6 - W2.9 WWF ON 6" GRANULAR BASE ON 12" LIME STABILIZED SUBGRADE. MEET EXISTING CURB ELEVATION AND MAINTAIN EXISTING GUTTER SLOPE.
- CONCRETE SIDEWALK SECTION SHALL BE 4" CONCRETE WITH ONE LAYER OF 6X6-W1.4XW1.4 WWF ON 4" GRANULAR BASE ON 12" LIME STABILIZED SUBGRADE.
- PAVEMENT, CURBS AND SIDEWALK WORK IN THE RIGHT-OF-WAY SHALL BE BY CONTRACTOR PER CITY SPECIFICATIONS. MEET EXISTING CURB ELEVATIONS AND MAINTAIN EXISTING GUTTER SLOPES AS REQUIRED.
- ALL SITE WORK CONCRETE SHALL BE 3,000 PSI MINIMUM AT 28 DAY COMPRESSIVE STRENGTH.
- SAWCUT EXISTING PAVEMENT WHERE REQUIRED TO PROVIDE A CLEAN EDGE FOR ABUTTING NEW PAVING AND PATCHING.
- EXISTING SIDEWALK, CURB, GUTTER, AND PAVEMENT DAMAGED DURING CONSTRUCTION AND NOT SHOWN AS NEW WORK SHALL BE REPLACED.

### SITE ACCESSIBILITY SLOPES

- RAMP SLOPES SHALL HAVE MINIMUM 4" WIDE WALKWAYS WITH MAXIMUM 1:12 SLOPE. FLARED SIDES OF RAMP SHALL NOT EXCEED 1:12 SLOPE (OR MAXIMUM 1:10 SLOPE WITH AT LEAST 4" OF SIDEWALK AT TOP OF RAMP). ADJOINING SIDEWALK SLOPES SHALL NOT EXCEED 1:20 (5%).
- CROSS SLOPE OF ALL WALKS AND RAMPS SHALL NOT EXCEED 2%.
- SLOPE ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 1:20 (5%) UNLESS SHOWN OTHERWISE.
- ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- REFER TO FEDERAL, STATE AND LOCAL ACCESSIBILITY GUIDELINES FOR ADDITIONAL INFORMATION AND USE MOST STRINGENT REQUIREMENTS AS APPLICABLE.

### UTILITIES

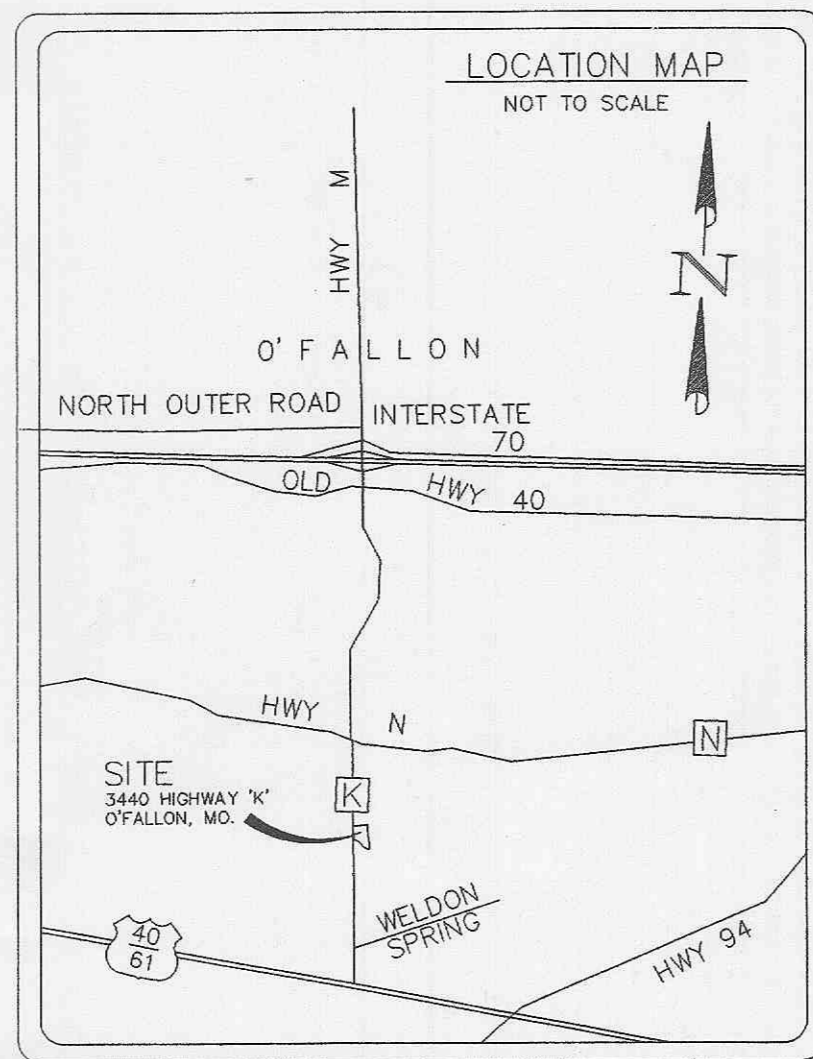
- THE LOCATION OF EXISTING UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION; THEREFORE, THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY PROJECT CONSTRUCTION.
- EXCAVATE WITH EXTREME CAUTION TO AVOID DISTURBING UNDERGROUND UTILITIES THAT ARE TO REMAIN IN SERVICE. REPORT ANY CONFLICTS TO THE ARCHITECT IMMEDIATELY.
- SEE PLUMBING DRAWINGS FOR UTILITY WORK (STORM AND SANITARY SEWERS, WATER, AND GAS) WITHIN THE BUILDING AREA.
- SEE ELECTRICAL DRAWINGS FOR UTILITY WORK (ELECTRIC AND TELEPHONES) ON SITE AND WITHIN THE BUILDING AREA.
- SEE MECHANICAL DRAWINGS FOR UTILITY WORK (HVAC) ON SITE AND WITHIN THE BUILDING AREA.
- NEW WATER/FIRE SERVICES SHALL HAVE 42" MINIMUM COVER. EXISTING WATER LINES HAVE 42" MINIMUM COVER.
- SITE SEWERS (STORM AND SANITARY) SHALL CONNECT TO BUILDING SEWERS AT A POINT 5 FEET OUTSIDE BUILDING WALL. SEE PLUMBING DRAWINGS FOR CONTINUATION INTO BUILDING.
- THE CONTRACTOR WILL MAKE THE TAP AND INSTALL A 1" DOMESTIC WATER SERVICE FROM THE WATER MAIN TO AND INCLUDING THE WATER METER BOX LOCATED AT THE BACK OF THE CURB TO THE BUILDING. THE CITY WILL SET THE METER. THE CONTRACTOR IS RESPONSIBLE FOR REQUIRED FEES.
- THE CONTRACTOR WILL INSTALL A 6" SANITARY SEWER LATERAL. A REPRESENTATIVE WILL NEED TO INSPECT THE NEW LATERAL. CONTRACTOR IS RESPONSIBLE FOR REQUIRED FEES.
- THE GAS COMPANY WILL INSTALL THE 1 1/2" GAS SERVICE FROM THE MAIN UP TO AND INCLUDING THE METER AND REGULATOR AT THE BUILDING. THE COST WILL BE 15T 75 L.F. (NO CHARGE). ADDITIONAL FOOTAGE WILL COST 4.50 PER LINEAL FOOT.
- VERIFY IN FIELD, ALL INVERTS OF EXISTING STORM AND SANITARY SEWERS AT CONNECTIONS WITH NEW SEWERS PRIOR TO BEGINNING CONSTRUCTION OF UTILITIES.
- EXISTING CLEANOUTS, MANHOLES, CATCH BASINS, WATER VALVES, PULLBOXES, ETC., WHICH ARE TO REMAIN AND ARE IN AREAS OF NEW CONSTRUCTION, SHALL BE ADJUSTED TO NEW GRADE. IF DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPAIRED OR REPLACED AS REQUIRED.

### LANDSCAPING/LAWN IRRIGATION

- ALL TREES AND SHRUBS SHALL BE PROTECTED AND REMAIN IN PLACE UNLESS OTHERWISE NOTED OR SHOWN.
- LANDSCAPING, INCLUDING PERMANENT SEEDING, SODDING AND TREE AND SHRUB RELOCATION, BY OWNER.
- LAWN IRRIGATION REMOVAL AND REPLACEMENT BY OWNER.
- PROVIDE 250'L.F. OF 4" PVC LAWN IRRIGATION SLEEVE PLACED 2" BELOW FINAL GRADE AND EXTENDED 18" BEYOND EDGE OF PAVING. MARK ENDS WITH 2X2 WOOD STAKE. COORDINATE REQUIREMENTS AND LOCATIONS OF SLEEVES WITH LANDSCAPER. FINAL QUANTITY TO BE ADJUSTED AS NECESSARY.

### EROSION CONTROL

- PROVIDE AND MAINTAIN SEDIMENT CONTROL BARRIERS TO INSURE NO RUN-OFF OF SEDIMENT INTO DRAINAGE STRUCTURES OR FROM SITE. SITE PLAN SHOWS MINIMUM SUGGESTED LOCATIONS. ADD ADDITIONAL CONTROL AS NECESSARY. SITE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND EFFECTIVENESS RESULTING FROM IMPROPER SEDIMENT CONTROL.
- SEDIMENT CONTROL METHODS SHALL BE STRAW BALES, SILT FENCE OR APPROVED ALTERNATE.
- PROVIDE ROCK CONSTRUCTION ENTRANCE (50' MINIMUM LENGTH) AT ANY LOCATION WHERE CONSTRUCTION TRAFFIC ENTERS THE SITE.
- COMPLY WITH SEDIMENT CONTROL MEASURES REQUIRED BY THE CITY.



LOCATION MAP

### CITY NOTES

- GENERAL CONTRACTOR MUST SUPPLY CITY CONSTRUCTION INSPECTORS WITH SOIL REPORT PRIOR TO DRIVING SITE SOIL TESTING.
- SIDEWALKS, CURB RAMPS, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE PROJECT ENGINEER.
- ALL SIGN POSTS, SIGN BACKS AND BRACKET-ARMS SHALL BE PAINTED BLACK USING CARBOLINE RUSTBOND PENETRATING SEALER SG AND CARBOLINE 133HP PAINT (OR EQUAL AS APPROVED BY THE CITY AND MDDOT) FOR ALL CITY REQUIRED SIGNAGE.
- ALL FILL MATERIAL PLACED UNDER STORM AND SANITARY SEWERS, PROPOSED ROADS AND/OR PAVED AREAS SHALL BE COMPACTED TO 92% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST. ALL FILL PLACED IN PROPOSED ROADS AND/OR PAVED AREAS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP. A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS SHALL VERIFY ALL TESTS.
- NO GRADED SLOPES SHALL BE STEEPER THAN 3 FEET (HORIZONTAL) : 1 FOOT (VERTICAL).

### SITE ABBREVIATIONS

ASPH. = ASPHALT PAVING	ATM = AUTOMATED TELLER MACHINE	BC = BOTTOM OF CURB	B.P. = BACK FLOW PREVENTER	B.O. = BY OTHERS (N.I.C.)	B.W. = BOTTOM OF WALL @ GRADE	CMF = CORRUGATED METAL PIPE	CD = CLEAN OUT	CONC. = CONCRETE	C.T. = CURB TAPER	DS = ROOF DOWN SPOUT	E = ELEVATION	EL. = ELECTRICAL	EP = EDGE OF PAVEMENT	EXST. = EXISTING	F.H. = FIRE HYDRANT	F.F. = FINISHED FLOOR	FL = FLOW LINE	OS = GAS	G.C. = GENERAL CONTRACTOR	G.L. = GROUND LIGHT	G.M. = GAS METER	G.V. = GUARD POST	G.V. = GAS VALVE	H.D. = HEAVY DUTY	INV. = INVERT	J.B. = JUNCTION BOX	L.I.S. = LAWN IRRIGATION SLEEVE	L.S. = LIGHT STANDAR	L.P. = LIGHT POLE	L.B. = LIGHT BOLLARD	N.I.C. = NOT IN CONTRACT	N.B. = NO BASE BID	M.E. = MATCH EXISTING GRADE	M.H. = MANHOLE	OHP = OVER HEAD POWER	OHTV = OVERHEAD CABLE TV	OHT = OVER HEAD TELEPHONE	RCF = REINFORCED CONCRETE PIPE	ROW = RIGHT-OF-WAY	BAR = REMOVE AND REPLACE	SAN = SANITARY SEWER	SHEET = SHEET	SCD = SEDIMENT CONTROL BARRIER	ST = STORM SEWER	S.U.C. = SITE UTILITY CONTRACTOR	STL = TO BE REMOVED	TBR/R = TO BE REMOVED & RELOCATED	TC = TOP OF CURB	TG = TOP OF GRATE	TP = TOP OF PIPE	TY = TYPICAL	UGG = UNDER GROUND GAS	UCW = UNDER GROUND WATER	UCV = UNDER GROUND CABLE TV	UGT = UNDER GROUND TELEPHONE	UP = USE IN PLACE	VCP = VITRIFIED CLAY PIPE	W = WATER	WM = WATER METER	WV = WATER VALVE	YL = YARD LIGHT
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### SITE LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	DESCRIPTION
---	---	---	---	CONTOUR LINES
---	---	---	---	SPOT ELEVATIONS
---	---	---	---	CONCRETE PAVEMENT
---	---	---	---	ASPHALT PAVEMENT
---	---	---	---	SEDIMENT CONTROL DEVICE
---	---	---	---	SANITARY SEWER
---	---	---	---	STORM SEWER
---	---	---	---	UTILITY LINES
---	---	---	---	UTILITY LINES TO BE REMOVED OR ABANDONED AS NOTED
---	---	---	---	IMPROVEMENTS TO BE REMOVED

### LAND DESCRIPTION

A tract of land being part of Lot 2 of "Pheasant Point Center", a subdivision according to a plat thereof recorded in Plat Book 35, Pages 248 and 249 of the St. Charles County Records, in U.S. Survey 1696, Township 46 North, Range 3 East of the Fifth Principal Meridian, St. Charles County, Missouri, and being more particularly described as follows:

BEGINNING at the Northwest corner of said Lot 2, being on the Eastern right-of-way line of Missouri State Highway "K"; thence along the North line of said Lot 2, North 63 degrees 35 minutes 25 seconds East 286.00 feet to the Eastern line of said Lot 2; thence along the Eastern line of said Lot 2, South 26 degrees 24 minutes 35 seconds East 202.57 feet to a point; thence leaving said line, South 63 degrees 35 minutes 25 seconds West 170.00 feet to a point; thence South 26 degrees 24 minutes 35 seconds East 170.98 feet to the North right-of-way line of Pheasant Meadow Drive, 60 feet wide; thence along said North right-of-way line and along a curve to the left whose radius point bears South 29 degrees 49 minutes 21 seconds West, a radius of 212.00 feet, an arc distance of 173.80 feet to a point on the said Eastern right-of-way of aforesaid Missouri State Highway "K"; thence along said Eastern right-of-way line Northwardly along a curve to the right whose radius point bears North 66 degrees 42 minutes 11 seconds East, a radius of 3729.72 feet on an arc distance of 283.42 feet to the POINT OF BEGINNING and containing 1.741 acres.

### FLOOD PLAIN NOTE

Per the Flood Insurance Rate Map (F.I.R.M.) Map City of O'Fallon, St. Charles County, MO, Number 29183C 0430 E, effective date August 2, 1996. The surveyed tract lies in an area designated as Zone "X" and Zone "AE". Zone "X" is an area determined to be outside the 500-year flood plain. Zone "AE" is an area determined to be in the 100-year flood plain. A letter of map revision has been submitted to F.E.M.A. for removal of this property from the existing flood plain limits. The property has been elevated by fill at this time in accordance with approved site planning. This change in elevation on the properties position the new flood plain limits at the location as shown on this survey as the proposed 100-year flood plain limits. Elevations to the north and east of this line are above the base flood elevation of 482.00 feet (NGVD). Elevations to the south and west of this line are below the base flood elevation of 482.00 feet (NGVD). The proposed flood plain line position was placed for proposed construction to not be affected by the 100-year flood plain limits.

REFERENCE BENCHMARK: RM 58 ELEV 487.55 (USGS DATUM) CUT SQUARE ON NORTH HEADWALL OF CONCRETE BOX CULVERT NORTH OF DARDENNE CREEK ALONG WEST SIDE OF HIGHWAY "K".  
SITE BENCHMARK: ELEV. 487.34 CUT CROSS ON SIDEWALK ON NORTH SIDE OF PHEASANT MEADOW DRIVE

### DEVELOPMENT NOTES

- Area of Tract: 1.74 Acres  
Area to be developed: 1.74 Acres
- Existing Zoning: C-2 Commercial
- Proposed Zoning: C-2 Commercial
- Area of Building: 4,950 Sq. Ft. Credit Union
- Proposed Use: Commercial/Credit Union
- Property Owner:  
First Community Credit Union  
15715 Manchester Road  
Ellisville, MO 63011  
314/432-1029  
Attn: Mr. Glenn Barks  
President
- Building Height:  
Maximum Height of Building: 50 Feet  
Proposed Height of Building: 25 Feet
- Building Setbacks:  
Minimum Front Yard: 25 Feet  
Minimum Rear Yard: 25 Feet  
Minimum Side Yard: 6 Feet

Note: A 20 foot wide buffer yard area is required along our North and West property line that abuts residential zoned property.  
9. Parking Required for Credit Unions: One (1) for each three hundred (300) square feet of floor area, plus one (1) space per two (2) employees.  
Total Parking Required for Credit Union: 4950/300 + 14/2 = 17 + 7 = 24  
Spaces Parking Provided: 38 Spaces (Including 2 Handicap Spaces)

10. Site Coverage Calculations:  
Building: 4,950 Sq. Ft.  
Pavement: 40,110 Sq. Ft.  
Green Space: 30,734 Sq. Ft.

11. Landscape Calculations: Required: 270 S.F. x Times Total Number of Parking Spaces x 6% = Total S.F. of Landscaping Required.  
270 x 38 x 6% = 616 S.F. Required.

12. This property is served by the following utility companies:  
Electric - Union Electric  
Telephone - GTE Telephone Company  
Water - Missouri American Water  
Sewer - Duckett Creek Sanitary District  
Gas - LaClede Gas

- All utilities to be underground. No utility poles are to be added.
- All fencing will require a separate permit through the Planning Division.
- Storm water management for our site was provided for in project designed and approved with the Pheasant Point Center Project in 1998.
- There are no existing trees on site to be removed.
- Cross-access Easements will be provided from the Matese Baptist Church and Lot 2-B to Pheasant Meadow Drive.

### INDEX OF SHEETS

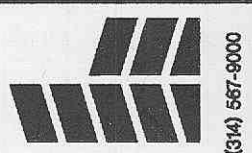
C1.0	Cover Sheet
C1.1	Civil Site Plan
C1.2	Grading and Utility Plan
C1.3	Erosion Control Plan
C1.4	Drainage Area Plan
C2.1	Sewer Profiles and Entrance Details
C2.2	Civil Site Details
C2.3	Civil Site Details

APPROVED

RECEIVED  
JUL 26 2001  
CITY OF O'FALLON, MO

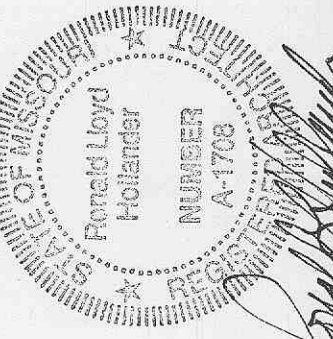
Cover Sheet

A New Building for  
**FIRST COMMUNITY  
CREDIT UNION**  
OF Fallon, Missouri



Construction By  
**HBE Financial Facilities**  
A Division of HBE Corporation, 1830 Olive Boulevard, St. Louis, Missouri 63103, Phone (314) 867-9000

**Frederick S. Scott, Architect**  
**Ronald L. Hollander, Architect**  
1830 Olive Boulevard, St. Louis, Missouri 63103 (314) 867-9000



DB	AB	CB
VAB	JR	JR

Sheet No. 1 of 2

**C1.0**

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Date: 4-27-01