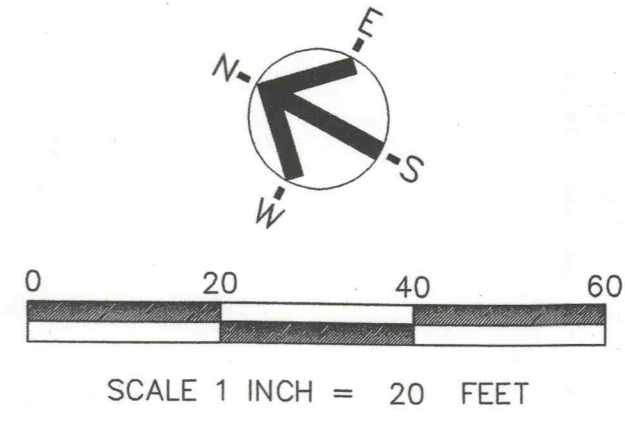


**PROPOSED LOT 2-B**  
 "NO BUILDINGS"  
 1.022 ACRES  
 PROPERTY N/F  
 LAND PLANNERS FIVE L.L.C.  
 BK. 2314 PG. 1115

**CAUTION:**  
 CHECK BENCHMARK AGAINST OTHER KNOWN ELEVATIONS TO ASSURE THAT FLOOR ELEVATIONS, UTILITIES AND OUTSIDE GRADES (INCLUDING INFORMATION OBTAINED FROM EXISTING RECORDS) ARE ALL ON THE SAME DATUM. CALL ARCHITECT IMMEDIATELY IF ANY DISCREPANCY IS DISCOVERED. USE CIRCUIT METHOD IN CONSTRUCTION LEVelling TO CHECK FOR AND ELIMINATE ERRORS.  
 LOCATE BUILDING CAREFULLY ON SITE. THE DIMENSIONS SHOWN ARE INTENDED TO PLACE THE BUILDING AT A CERTAIN LOCATION WITH ONE SPECIFIC ORIENTATION. CALL ARCHITECT IF ANY UNCERTAINTY EXISTS.

- SITE ACCESSIBILITY SLOPES**
1. ACCESSIBLE RAMPS SHALL HAVE MINIMUM 4' WIDE WALKWAYS WITH MAXIMUM 1:12 SLOPE. FLARED SIDES OF RAMP SHALL NOT EXCEED 1:12 SLOPE (OR MAXIMUM 1:10 SLOPE WITH AT LEAST 4' OF SIDEWALK AT TOP OF RAMP). ADJOINING SIDEWALK SLOPES SHALL NOT EXCEED 1:20 (5%).
  2. CROSS SLOPE OF ALL WALKS AND RAMPS SHALL NOT EXCEED 2%.
  3. SLOPE ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 1:20 (5%) UNLESS SHOWN OTHERWISE.
  4. ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  5. REFER TO FEDERAL, STATE AND LOCAL ACCESSIBILITY GUIDELINES FOR ADDITIONAL INFORMATION AND USE MOST STRINGENT REQUIREMENTS AS APPLICABLE.

REFERENCE BENCHMARK: RM 58 ELEV 487.55 (USGS DATUM) CUT SQUARE ON NORTH HEADWALL OF CONCRETE BOX CULVERT NORTH OF DARBIENNE CREEK ALONG WEST SIDE OF HIGHWAY "K".  
 SITE BENCHMARK: ELEV. 487.34 CUT CROSS ON SIDEWALK ON NORTH SIDE ON NORTH SIDE OF PHEASANT MEADOW DRIVE



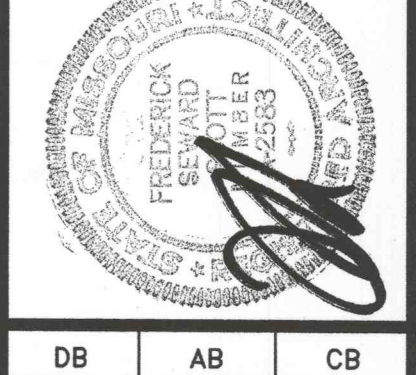
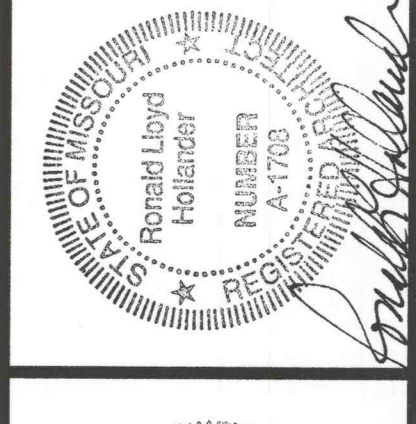
LOT 1  
 P.B. 35 PGS. 248-249  
 PROPERTY N/F  
 FORT ZUMWALT  
 SCHOOL DISTRICT

PROPERTY N/F  
 MATTESE BAPTIST CHURCH, INC.  
 BK. 1430 PG. 1304

PROPERTY N/F  
 LAND PLANNERS FIVE L.L.C.  
 BK. 2314 PG. 1115

Construction By  
 HBE Financial Facilities  
 A Division of HBE Corporation, 1930 Olive Boulevard, St. Louis, Missouri 63141, Phone (314) 997-0000

Frederick S. Scott, Architect  
 Ronald L. Hollander, Architect  
 11330 Olive Boulevard, St. Louis, Missouri 63141 (314) 967-0000



DB	AB	CB
VAB	AB	JR

Sheet No. 3 of 8

**C12**  
 Grading and Utility Plan  
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 Date: 4-27-01