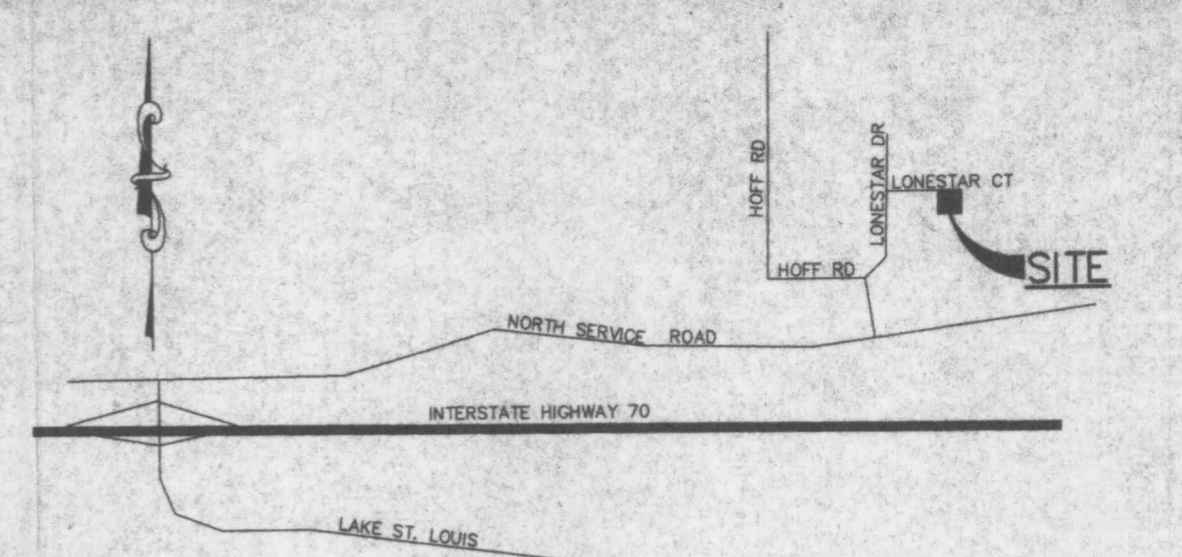


A SITE PLAN OF
FIVE STAR CONCRETE
 LOT 9 OF LONE STAR INDUSTRIAL PARK
 PHASE TWO PLAT TWO, BOOK 30, PAGE 182
 TOWNSHIP 47 NORTH, RANGE 2 EAST, ST. CHARLES COUNTY, MO



P. Albert

FIVE STAR CONCRETE
 541 FEE FEE ROAD
 MARYLAND HEIGHTS, MISSOURI
 (314) 739-3307

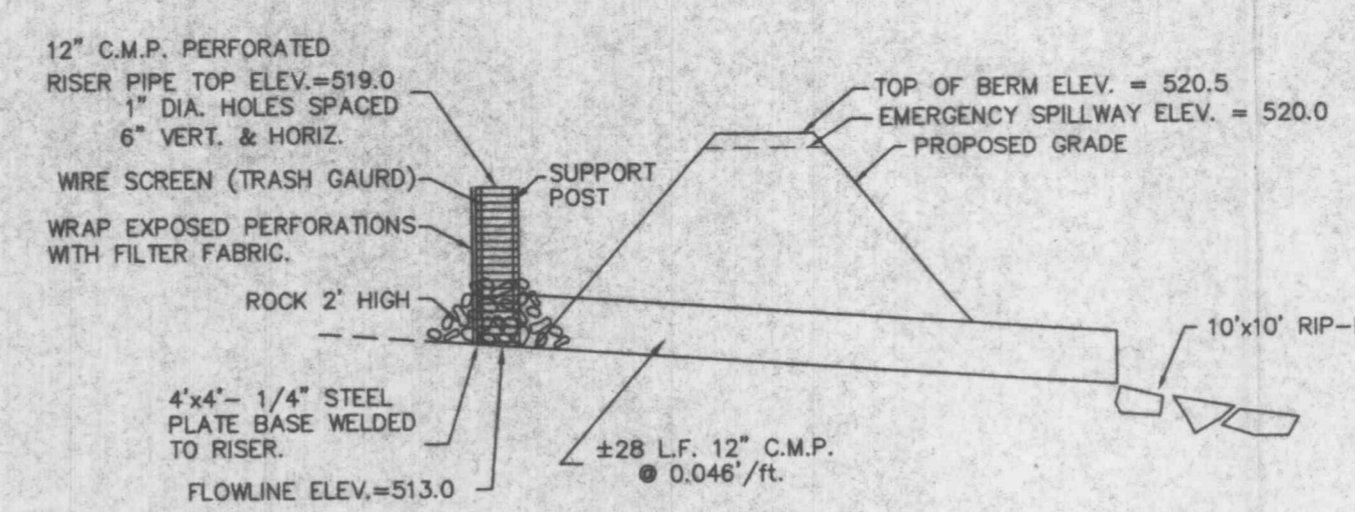
APPROVED
 7/24/96
 Colleen
 Kramme

LANDSCAPE LEGEND

DENSE YEW 7 EACH

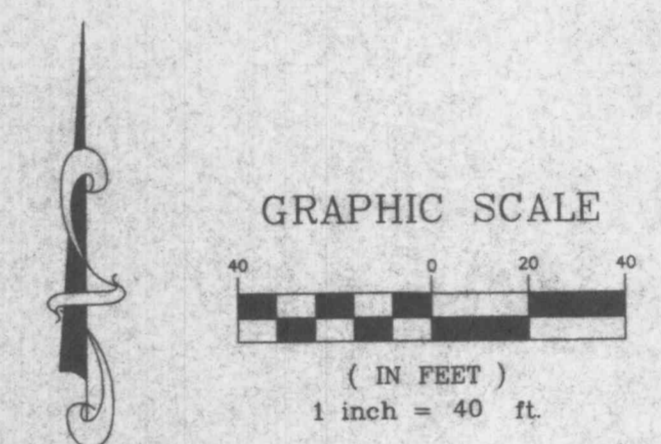
DEVELOPMENT NOTES

- AREA OF TRACT: 7.553 AC.
- EXISTING ZONING: I-2 HEAVY INDUSTRIAL DISTRICT
- THE PROPOSED HEIGHT AND LOT SETBACKS ARE AS FOLLOWS:
 Minimum Front Yard: 30 feet
 Minimum Side Yard: 25 feet
 Minimum Rear Yard: 50 feet
 Maximum Height of Building: 50 feet
- OWNER UNDER CONTRACT AND DEVELOPER: FIVE STAR CONCRETE
 541 FEE FEE ROAD
 MARYLAND HTS, MO 63043
 314-739-3307
- SITE IS SERVED BY:
 City of O'Fallon Sewers
 Union Electric Company
 St. Charles Gas Company
 City of O'Fallon Water
 QTE Telephone Company
 O'Fallon Fire Protection District
- ALL UTILITIES MUST BE LOCATED UNDERGROUND.
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCE. THE EXISTING TREES SAVED HAVE AN EXCESS NUMBER OF TREES TO BE APPLIED TOWARD THE REQUIRED LANDSCAPE REQUIREMENTS.
- UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
- ALL FILLED PLACES, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL FILLED PLACES WITHIN PUBLIC ROADWAYS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99, METHOD C" (A.S.T.M. D-698).
- ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIAL (FREE OF LARGE CLOUDS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
- ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
- NO SLOPE SHALL BE STEEPER THAN 3:1 OR AS CALLED FOR IN THE SOILS REPORT FOR THE PROJECT. ALL SLOPES SHALL BE SEEDED AND MULCHED.
- ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF O'FALLON STANDARDS.
- ALL SOILS TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- SILTATION CONTROL DEVICES SHALL BE AS SHOWN ON PLANS, AND APPROVED BY THE LOCAL GOVERNING AUTHORITY. ADDITIONAL SILTATION CONTROL, IF REQUIRED, WILL BE PLACED AT THE DIRECTION OF THE SOILS ENGINEER ON-SITE AND THE LOCAL GOVERNING AUTHORITY PRIOR TO PLACEMENT.
- BENCHMARK - "4" AT CENTERLINE CUL-DE-SAC OF WEST INDUSTRIAL DRIVE ELEVATION 569.44 (USGS DATUM)
- ALL AREAS SUITABLE FOR STANDING AND MANEUVERING OF VEHICLES SHALL HAVE A SUITABLE SURFACE FOR DUST CONTROL AND SHALL BE MAINTAINED ADEQUATELY FOR ALL WEATHER USE AND DRAINED PER CITY OF O'FALLON ORDINANCES.
- NO FLOOD PLAIN EXISTS ON THIS SITE PER F.I.R.M. MAP29183C0110 D.
- BACK FLOW PREVENTER TO BE PROVIDED INSIDE BUILDING. BACK FLOW PREVENTER SHALL BE PROVIDED FOR ALL PROCESS WATER.
- PARKING REQUIRED:
 1 SPACE PER EMPLOYEE
 2 EMPLOYEES = 2 SPACES
 1 SPACE PER 400 SQ.FT. 400 SQ.FT. OFFICE AREA
 100 SQ.FT. OFFICE = 1 SPACE
 TOTAL PARKING REQUIRED = 3 SPACES
 TOTAL PARKING PROVIDED = 4 SPACES INCLUDING 1 HANDICAP SPACE
- THERE IS NO VEHICLE STORAGE LOT PROPOSED ON THIS SITE.
- ALL AREAS AROUND BUILDING AND PARKING TO BE SEEDED AND MULCHED.
- CONTRACTOR SHALL COMPLY WITH ARTICLE 26 OF THE O'FALLON ZONING ORDINANCE.
- DURING DEVELOPMENT - WHERE A BUILDING PERMIT OR SUBDIVISION APPROVAL HAS BEEN REQUESTED, A MINIMUM OF TWENTY (20%) PER CENT OF THE TREES OR FIFTEEN (15) TREES PER ACRE (WHICHEVER IS GREATER), SHALL BE RETAINED. TREES RETAINED WILL COUNT TOWARD THE LANDSCAPING REQUIREMENTS SET FORTH IN ARTICLE 23 OF THE ZONING ORDINANCE. IF SOME OR ALL CANNOT BE RETAINED AS PROVIDED, THESE SHALL BE REPLACED WITH TREES OF LIKE OR SIMILAR KIND HAVING A MINIMUM DIAMETER OF TWO (2) INCHES AND A HEIGHT OF EIGHT (8) FEET. TREES SHOULD BE OF A HARDWOOD VARIETY. TREES SO REPLACED SHALL BE PROPERLY MAINTAINED TO INSURE THEIR SURVIVAL FOR A PERIOD OF AT LEAST EIGHTEEN (18) MONTHS FROM THE DATE PLANTED.
- LANDSCAPE CALCULATIONS:
 REQUIRED: TREE PER 4000 SQ.FT. OPEN SPACE
 EXISTING TREE MASS WILL ACCOMMODATE THE NUMBER OF TREES REQUIRED.
- ALL SITE LIGHTING SHALL BE SHIELDED AND DIRECTED DOWN.

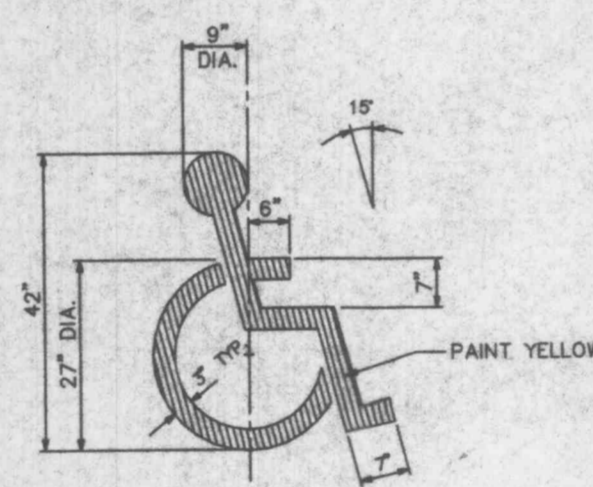


SEDIMENT BASIN DETAIL
 NOT TO SCALE

NOTE: PAINT MARK @ ELEV. 515.5 (2.5' ABOVE E. OF SPILLWAY PIPE) FOR CLEANOUT OF SEDIMENT BASIN.
 RISER SHALL BE ANCHORED WITH A 1/4" STEEL PLATE BASE TO PREVENT FLOATATION. BASE SHALL BE ATTACHED BY CONTINUOUS WELD TO FORM WATERTIGHT CONNECTION.



PROPERTY N/F
 WILLIAM SCHAEFFER
 793/328
 ZONED M1 ST. CHARLES COUNTY



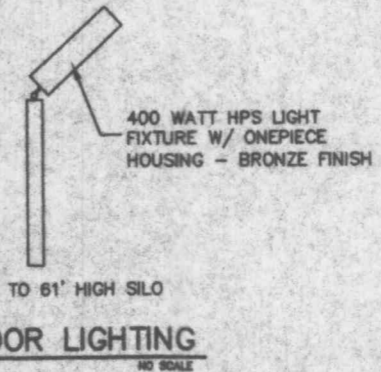
PAINTED HANDICAPPED PARKING SYMBOL
 NO SCALE



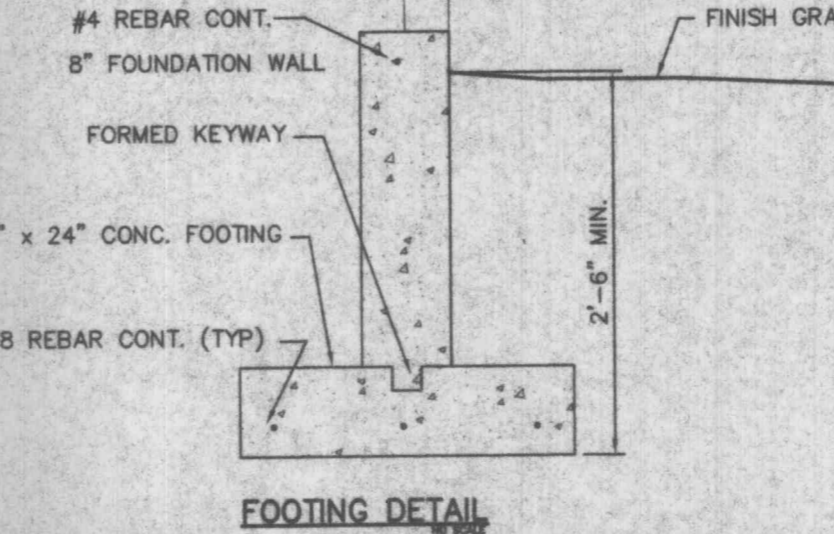
12" X 18" SIGN

STANDARD SIGN FACE, STANDARD HIGHWAY DEPARTMENT, OR CITY STREET DEPARTMENT GAUGE. BLACK OR BLUE LETTERING. GALVANIZED STEEL POST 9'-6" LONG, SET 3'-0" INTO GRADE, SET BOTTOM OF SIGN 5'-0" ABOVE FINISHED GRADE.

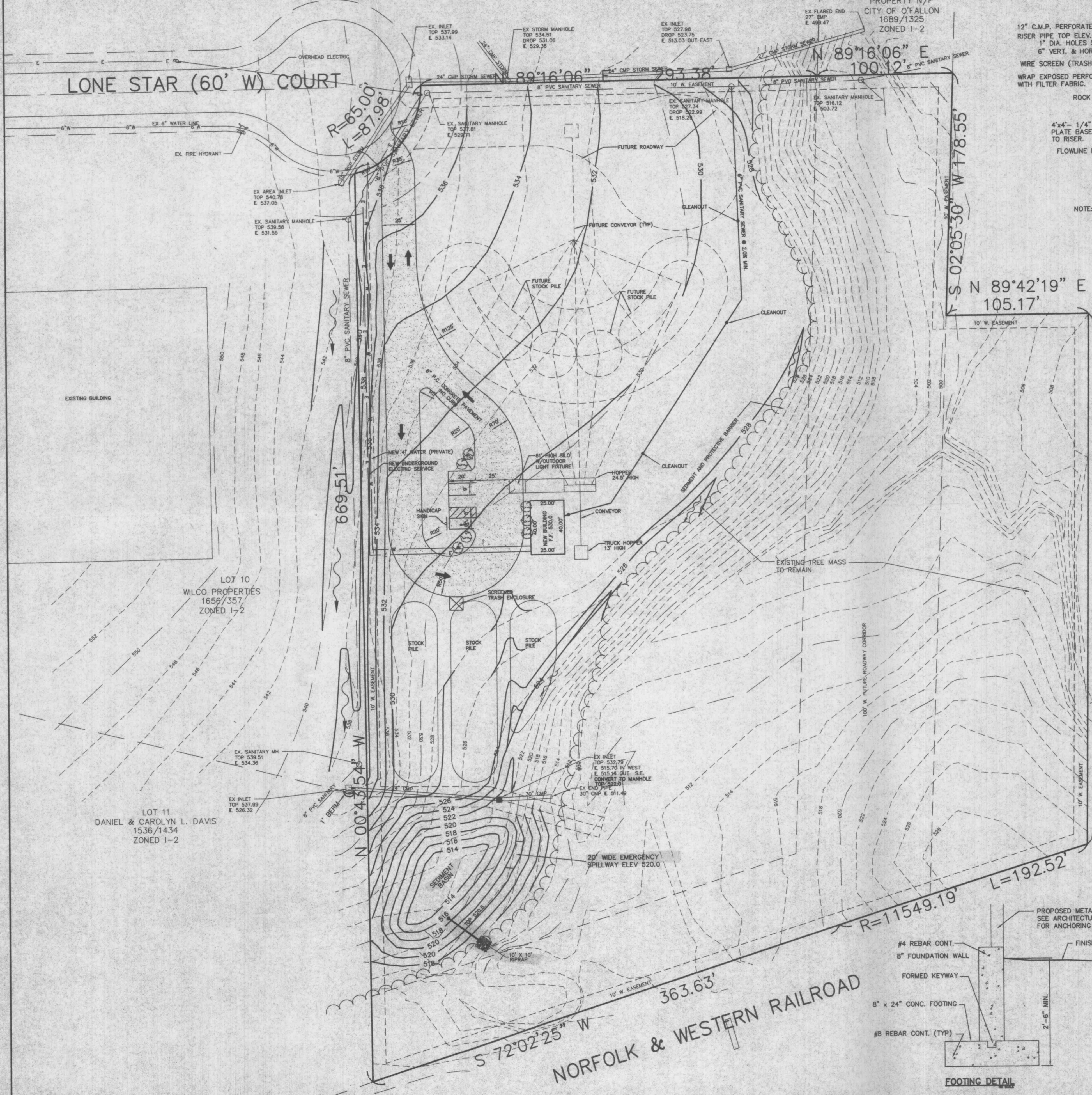
HANDICAP PARKING SIGN
 NO SCALE



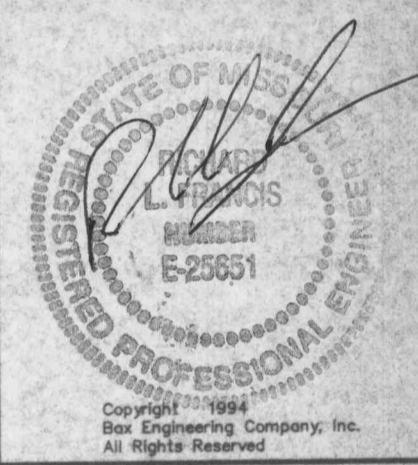
MOUNT TO 61" HIGH SLO
 400 WATT HPS LIGHT FIXTURE W/ ONEPIECE HOUSING - BRONZE FINISH
 OUTDOOR LIGHTING



FOOTING DETAIL

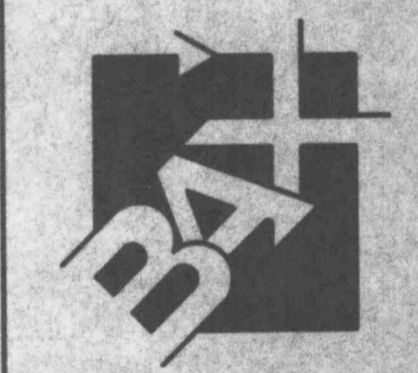


DISCLAIMER OF RESPONSIBILITY
 I hereby certify that the documents intended to be authorized by my seal are those shown on this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



REVISIONS

NO.	DATE	DESCRIPTION
10-13-95	PER PAZ MTO. 10-24-95	
10-25-95	PER PAZ MTO. 10-24-95	
12-11-95	SILTATION BASIN	
1-15-96	COMMENTS	
7-22-96	COMMENTS	



ENGINEERING
 PLANNING
 SURVEYING

1052 South Cloverleaf Drive
 St. Peters, MO. 63376-6445
 314-928-5552
 FAX 928-1718

9-15-95
 DATE
 95-7359
 PROJECT NUMBER
 1 of 1
 SHEET OF
 7359CON.DWG
 FILE NAME
 PJS
 DRAWN CHECKED