

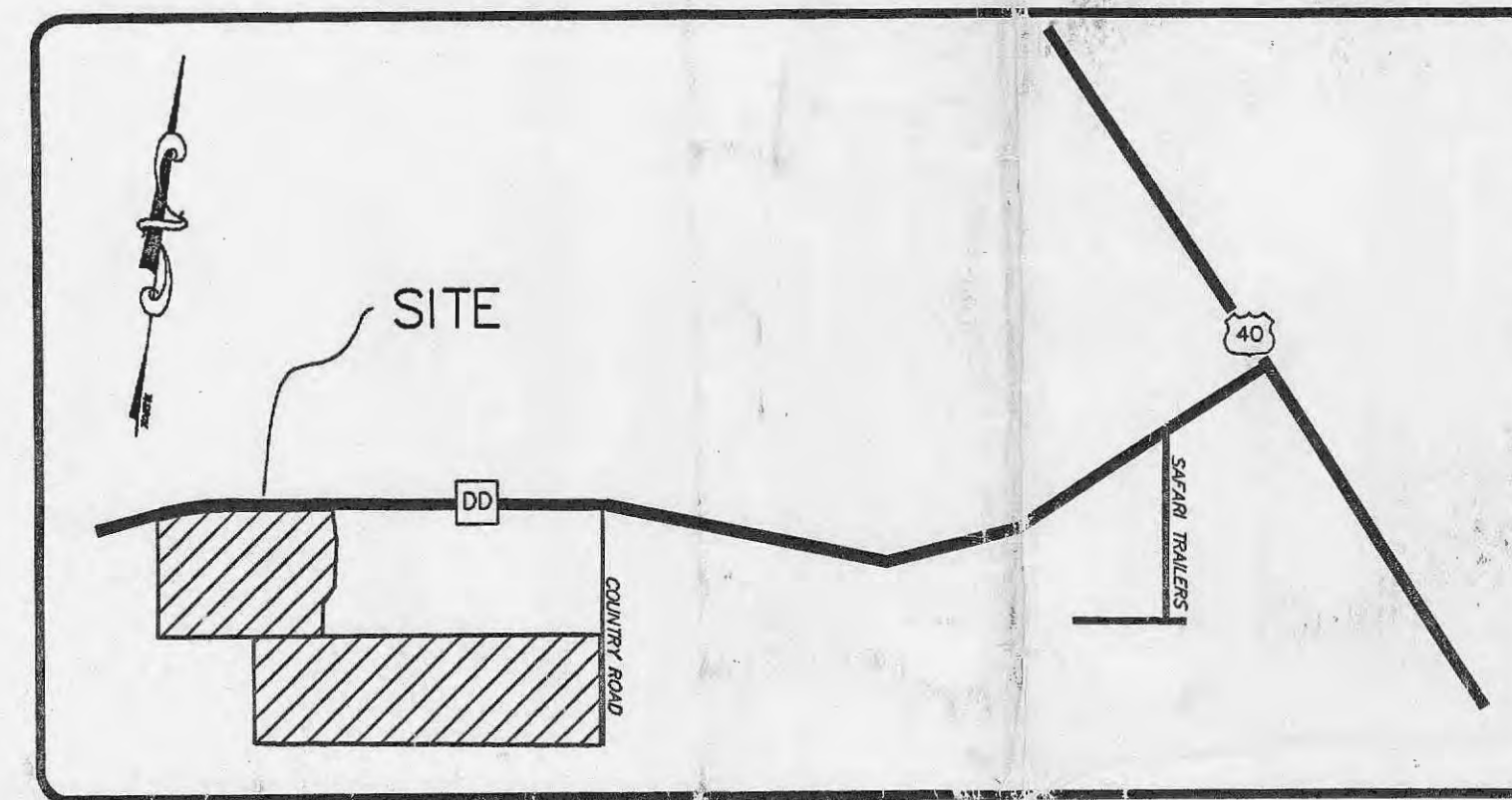
# FOX HAVEN

A Tract of Land Being a Part of U.S. Survey 1778,  
in Township 46 North, Range 2 East,  
City of O'Fallon, Missouri

## GRADING & STORM WATER POLLUTION PREVENTION PLAN

### GRADING NOTES:

- All construction methods, materials and practices shall conform to all current applicable specifications of the governing agencies.
- Any destruction of existing improvements or features shall be repaired or replaced in kind by the contractor and shall remain the contractor's responsibility.
- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- It shall be distinctly understood that failure to specifically mention any work which would normally be required to complete the project shall not relieve the contractor of his responsibility to perform such work.
- Contractor shall keep road clear of mud and debris.
- All filled areas to be compacted to a minimum of 90 percent of maximum dry density as determined by the Modified AASHTO Compacting Test, ASTM D1557-78, or as specified by the soils engineer.
- It shall be the grading contractor's responsibility to notify the soils engineer prior to work in progress and to comply with recommendations by the soils engineer with regards to compaction, surface preparation, and placement of fill.
- It shall be the grading contractor's responsibility to provide the location of any existing underground utilities by notifying utility companies prior to grading operations.
- The grading contractor shall cut or fill to subgrade elevation under all areas to be paved. (Subgrade is figured at pavement depth).
- All permanent drainage swales shall be sodded or seeded and mulched to prevent erosion.
- All stumps, limbs, and other debris are to be removed from the site unless a suitable dump area is approved in advance by the owner after consulting with the soils engineer if burning is approved.
- Subgrade is included in the total bid yardage. (Subgrade is figured at pavement depth).
- Slopes to receive fill which are steeper than 5:1 should be benched prior to placement of fill.
- If fill is to be placed in areas of soft soil, particularly in draws, drainage channels and other low lying areas, the soft soil shall be excavated until firm soil is encountered.
- All grading shall comply with the recommendations of the soils engineer.
- A drainage easement will be granted to the City of O'Fallon for any creeks to remain in the development on the record plat.
- Siltation control will be installed prior to any grading or construction operations and shall be inspected and maintained as necessary to insure their proper function until sufficient vegetation has been established to prevent erosion.
- Additional siltation control may be required as directed by the local governing authority.
- All grading areas shall be protected from erosion by erosion control devices and/or seeding and mulching as required by the City of O'Fallon.
- Erosion and sediment control structures shall be maintained throughout the construction process.
- The Developer shall provide the City of O'Fallon construction inspectors with soils reports prior to and during site soil testing.
- The contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with grading and be maintained throughout the project until acceptance of the work by the Owner and/or the City of O'Fallon and/or MoDOT. The Contractor's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The Owner and/or the City of O'Fallon and/or MoDOT may at their option direct the Contractor in his methods as deemed fit to protect property and improvements. Any depositing of any silts or mud on new or existing pavement or in new or existing sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the Owner and/or the City of O'Fallon and/or MoDOT.
- All erosion control systems shall be inspected and necessary corrections made within 24 hours of any rainstorm resulting in one-half inch of rain or more.
- Erosion control shall not be limited to what is shown on the plan. Whatever means necessary shall be taken to prevent siltation and erosion from entering natural streams, adjacent roadways, properties, ditches.
- No graded area shall remain bare for over 2 weeks without being seeded or mulched.
- All low slopes shall exceed 3(horz.):1(vert.) unless approved by the soils engineer and the City of O'Fallon.
- All filled places under proposed storm and sanitary sewer and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-180 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All tests shall be verified by a soils engineer concurrent with grading and backfilling operations.
- When deemed necessary, positive steps should be exercised to prevent the soil from damaging adjacent property and siltting up all storm drainage systems whether on or off site.
- All low places whether on-site or off-site should be graded to allow drainage by installing temporary ditches.
- Any wells and/or springs which may exist on this property should be located and sealed in a manner acceptable to the City of O'Fallon.
- All trash and debris on-site, either existing or from construction, must be removed and disposed of off-site.
- Debris and foundation material from any existing on-site building or structure which is scheduled to be razed for this development must be disposed of off-site. All existing buildings and fencing is to be removed.
- Soft soils in the bottom and banks of any existing or former pond sites or tributaries should be removed, spread out and permitted to dry sufficiently to be used as fill. None of this material should be placed in proposed public right-of-way locations or on any storm sewer location. Dewatering of existing pond shall not exceed 50 GPM.
- Please notify the Director of Public Works for the City of O'Fallon 24 hours prior to the commencement of grading. No building permits will be issued by the City of O'Fallon until construction plans are approved and the final plat recorded.
- No grading is proposed within the R/W of Hwy. DD at this time. Any subsequent grading or construction within state R/W as part of the final improvement plans will require MoDOT approval.
- The sediment control plan should be implemented before grading begins. This should follow the guidelines in the model sediment and erosion control regulations by St. Charles Soil and Water Conservation District.
- The engineer shall not be liable for damage caused by erosion or siltation due to defective siltation control devices, installation, or maintenance.
- The moisture content of the soil in fill areas is to correspond to the compaction efforts as defined by the Standard or Modified Proctor Test.



LOCATION MAP  
N.T.S.

EXISTING	LEGEND	PROPOSED
542	CONTOURS	(542)
536	SPOT ELEVATIONS	(536)
---	CENTER LINE	---
---	BUILDINGS, ETC.	---
---	TREE LINE	---
x	FENCE	x
---	STORM SEWERS	---
---	SANITARY SEWERS	---
CB	CATCH BASIN	CB
AI	AREA INLET	AI
GI	GRATED INLET	GI
SM	STORM MANHOLE	SM
SM	SANITARY MANHOLE	SM
FE	FLARED END SECTION	FE
---	CLEANOUT	---
---	LATERAL CONNECTION	---
---	UTILITY OR POWER POLE	---
---	FIRE HYDRANT	---
---	TEST HOLE	---
---	PAVEMENT	---
2" G	GAS MAIN & SIZE	(2" G)
6" W	WATER MAIN & SIZE	(6" W)
T	TELEPHONE	(T)
E	ELECTRIC (U) UNDERGROUND	(E)
OHW	ELECTRIC (O) OVERHEAD	(OHW)
FL	FLOW LINE	FL
---	TO BE REMOVED	TBR
TC	TOP OF CURB	(TC)
---	SWALE	---
LS	LIGHT STANDARD	LS
PS	STREET SIGN	PS
PS	PARKING STALLS	PS
YL	YARD LIGHT	YL

INDEX OF SHEETS	
1	COVER SHEET
2-4	GRADING PLANS
5	DRAINAGE AREA MAP
6	SILTATION CONTROL DETAILS

### FLOOD PLAIN NOTE:

According to the Flood Insurance Rate Map of the County of St. Charles, Missouri, Unincorporated Areas (Community Panel Number 29183C0410 E Dated August 2, 1996. This property lies entirely outside of the 100 Year Flood Plain.

### PROJECT BENCHMARK

RM 1 ELEV. 536.06 Chiseled square on wingwall at northeast corner of County Highway DD bridge over Dardenne Creek.

PER IRRM MAP # 29183C0410 E

### TREE ORDINANCE

Existir trees = 22.09 acres  
Trees removed = 17.45 acres  
Trees required = 20% x 22.09 ac. = 4.42 ac.  
Existir trees retained = 4.64 ac.

No replacement trees required.

### GENERAL NOTES:

- This site is in the following Districts:  
Public Water District No. 2  
Wentzville Fire Protection District  
Wentzville School District
- This site is in the following Utility Service Areas:  
Duckett Creek Sewer District  
AT&T Broadband  
Cuivre River Electric Company  
St. Charles County Gas Company  
Centurytel
- Sanitary sewer connections shall be approved by Duckett Creek Sewer District and the City of O'Fallon.
- Storm Water Management shall be designed pursuant to the requirements of City of O'Fallon and shall discharge at an adequate natural discharge point.
- Grading shall be per City of O'Fallon standards.
- Street trees, landscaping and street lights shall be per City of O'Fallon standards.
- The underground utilities shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, size, type, number, or location of these or other utilities. The general contractor shall be responsible for verifying the actual location of all underground utilities, shown or not shown, and shall be located in the field prior to any grading, excavation, or construction of improvements. The provisions shall in no way, absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMo.
- The Source of topographic information is USGS Datum.
- All proposed utilities and sewers shall be covered by easements granted to the appropriate utility companies and municipalities.
- This project is in compliance with Article 26 of the City of O'Fallon's Zoning Code.
- All sidewalks shall be 4' wide minimum and comply with City of O'Fallon ADA Standards.
- This plan is not for record.
- Proposed light standards shall be 16' tall max.
- No known wetlands are on the subject property.
- All future uses on subject property will conform with Article XIII of the Zoning Code.
- All necessary utilities (public or private) will be available, functioning and useable prior to the issuance of any occupancy permits.
- Any septic tanks or leach fields to be removed per St. Charles County requirements.
- If detention basin structure and pipes are being used as a sediment basin, installation of detention structure and pipes area at the developer's own risk.
- All lots within the subdivision shall only be accessed via a public right of way. Access to lots may not be permitted via private easements or drives.

### LEGAL DESCRIPTION:

A tract of land being a part of U.S. Survey 1778, Township 46 North, Range 2 East, St. Charles County, Missouri, and being more particularly described as follows:

Beginning at the intersection of the West line of U.S. Survey 1778 and the South line of State Highway "DD" (80 feet wide), said point also being the Northwest corner of the herein described tract; thence with the South Line of State Highway "DD", North 67°55'12" East 24.16 feet to a point of curvature; thence along a curve to the right with a radius of 1870.08 feet and an arc length of 466.64 feet to a point of tangency; thence North 82°13'02" East 734.09 feet to a point; thence departing the South line of State Highway "DD", with the common line of a tract of land described in a deed to John F. Korenak recorded in Deed Book 1110 Page 829 and a tract of land described in a deed to Home Nursery Inc. recorded in Deed Book 2486 Page 737 of the St. Charles County Records; the following bearings and distances: South 15°49'31" East a distance of 212.45 feet, South 05°09'38" East a distance of 333.70 feet, South 27°01'40" East a distance of 140.38 feet and South 06°39'39" East a distance of 231.58 feet to a point; thence with the South line of said Home Nursery tract and its direct prolongation with the South line of a tract of land described in a deed to Double Dude L.L.C. in Deed Book 2471 Page 480 of the St. Charles County Records; North 82°04'12" East a distance of 1961.55 feet to a point on the centerline of "Country Roads" (Private 30' Wide Road Easement); thence with said centerline, South 07°40'38" East a distance of 771.83 feet to a point on the North line of a tract of land described in a deed to August A. Busch in Deed Book 517 Page 124 of the St. Charles County Records; thence departing centerline of "Country Roads", with the North line of said Busch tract, South 82°42'15" West a distance of 2425.22 feet to a point thence departing the North line of said Busch tract, with the West line of a tract of land described in a deed to Stegmann Farms XV, LLC recorded in Deed Book 3492 Page 125 of the St. Charles County Records, North 08°01'43" West a distance of 744.99 feet to a point on the South line of the aforesaid Korenak Tract; thence with the South line of said Korenak tract, South 82°04'12" West a distance of 686.65 feet to a point on the West line of U.S. Survey 1778; thence with the West line of said U.S. Survey 1778, North 07°23'08" West a distance of 829.61 feet to the point of beginning and containing 2,912,389 square feet (66.8592 Acres), more or less, according to a Boundary Survey by The Sterling Company during the month of October, 2003.

4/23/04  
The Engineers Field Corp.  
APPROVED  
A. J. [Signature]

RECEIVED  
APR 14 2004  
ENGINEERING DEPARTMENT

THE UNDERGROUND UTILITIES SHOWN HEREON WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE OR OTHER UTILITIES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319, RSMo

ISSUE	REMARKS/DATE
1	12-12-03 FIRST SUBMITTAL
2	1-20-04 CITY OF OFFALLON COMMENTS
3	2-05-04 CITY OF OFFALLON COMMENTS

PREPARED FOR:  
**McBride & Son Homes  
Land Development, Inc.**  
#1 McBride & Son Center Drive  
Chesterfield, Missouri 63005  
(636) 637-2000

W. W. [Signature]  
4/23/04

THE **STERLING** CO.  
ENGINEERS & SURVEYORS  
5655 NEW BAUMGARTNER ROAD  
L.L. [Signature]  
(314) 407-0440 FAX 482-2824  
E-Mail: Sterling@sterling-eng-sur.com

PROJECT:	DESIGNED:	CHECKED:
FOX HAVEN		
NO. 03 06 147		
M.S.D.		SHEET 1
DIGITAL FILE LOCATION 6306-STERLING-2 114209.dwg		OF 6