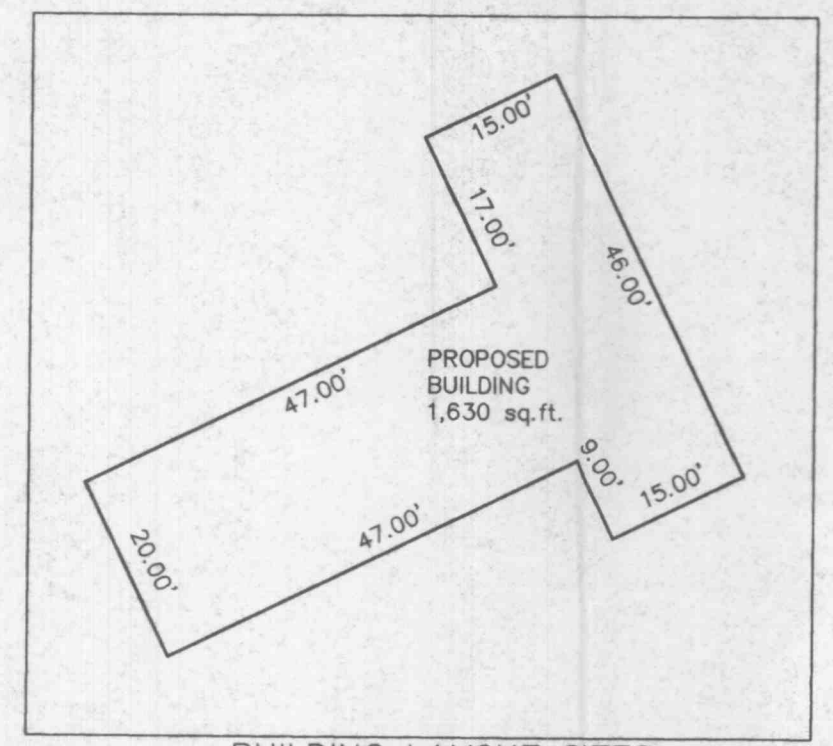
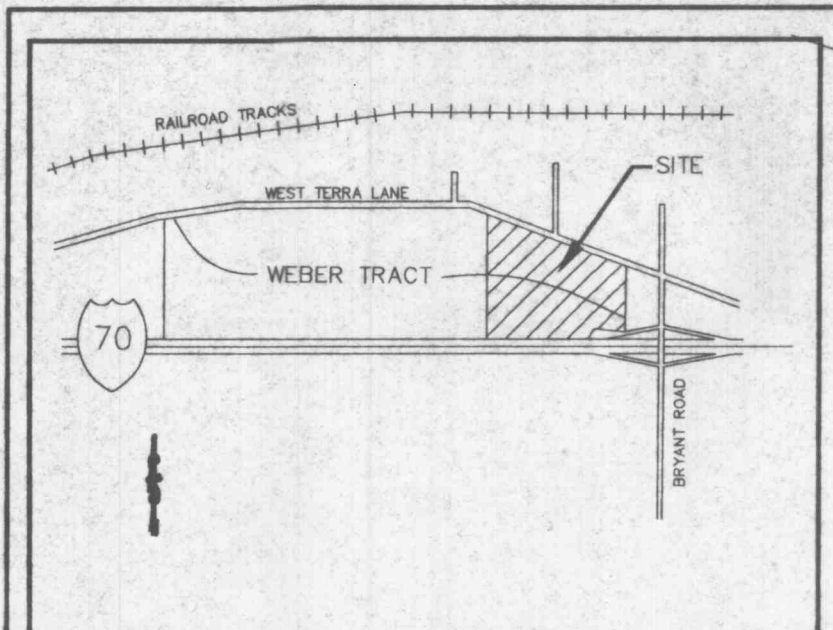
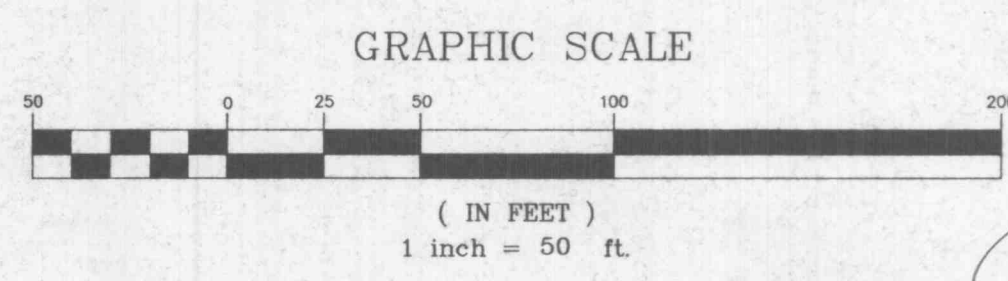


A PARTIAL SITE PLAN FOR
WEBER QUARRY
 A TRACT OF LAND
 IN U.S. SURVEY 1780,
 TOWNSHIP 47 NORTH, RANGE 2 EAST
 OF THE FIFTH PRINCIPAL MERIDIAN,
 ST. CHARLES COUNTY, MISSOURI

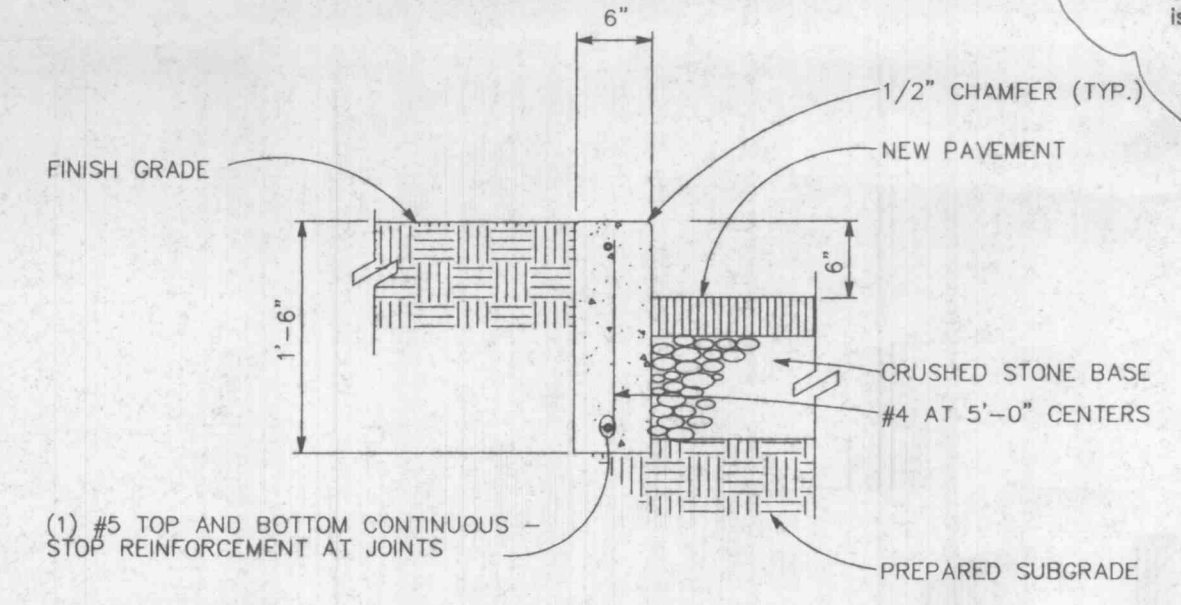


BUILDING LAYOUT SIZES
 NOTE:
 ALL BUILDING DIMENSIONS ARE APPROXIMATE
 AND SHOULD BE VERIFIED ACCORDING TO
 THE ARCHITECTS DRAWINGS.

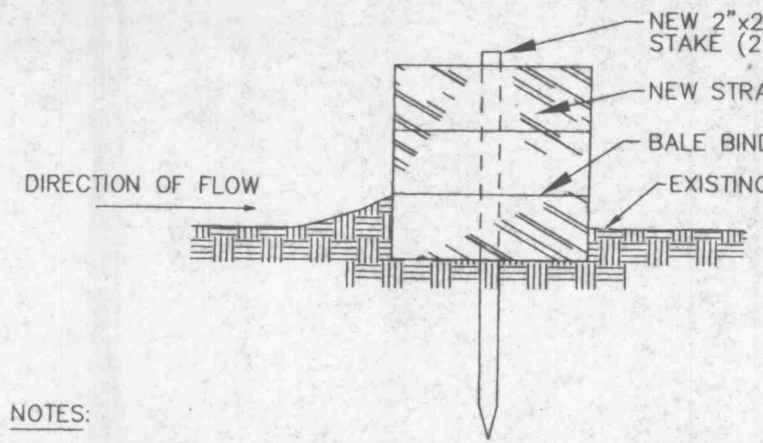


N/F
 WEBER, FRED INC.
 1011/356
 83.95 ACRES

- Notes:
1. Fred Weber will rotomill the existing pavement from the asphalt plant entrance to the east approximately 800 feet. This work will commence within two to three weeks of site plan approval.
 2. Fred Weber will rotomill the shoulder on both sides from the asphalt plant entrance to the east property line. This corrective action may require further ancillary grading to restore and ensure proper drainage of the roadway. Shoulder areas currently draining property may be exempted from milling.
 3. The rotomilled area of pavement will be overlaid by Fred Weber with 2" type C asphaltic concrete. Any necessary spot wedging to correct popouts or deeper rutting will be done by Fred Weber prior to the overlay. The overlaying of the road will take place in either March or April of this year.
 4. Filled areas within the taper areas of the proposed entrance will be repaired by Fred Weber as the new entrance is installed.



CONCRETE CURB DETAIL
 NOT TO SCALE

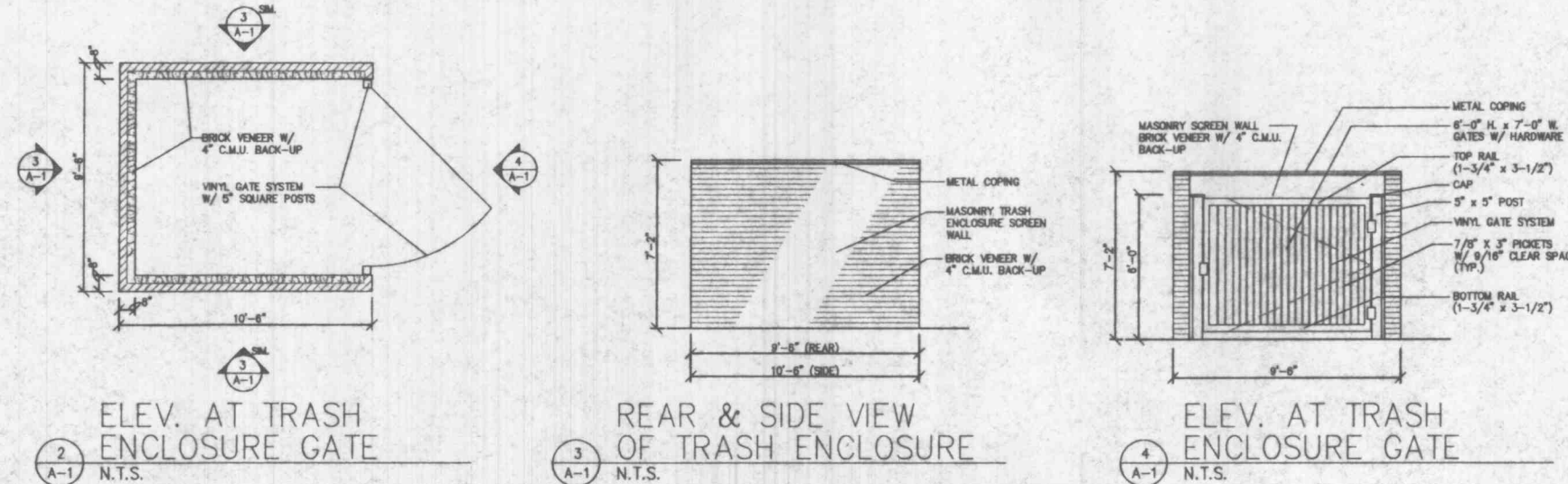


- NOTES:
1. STRAW BALES, NOT HAY BALES SHALL BE USED
 2. BUTT ENDS OF BALES TIGHTLY TOGETHER.
 3. INSTALL BALES WITH BINDING AROUND SIDES, NOT TOP AND BOTTOM.
 4. FILL ANY GAP BETWEEN BALES BY WEDGING LOOSE STRAW BETWEEN THEM.

SEDIMENT BARRIER
 NOT TO SCALE

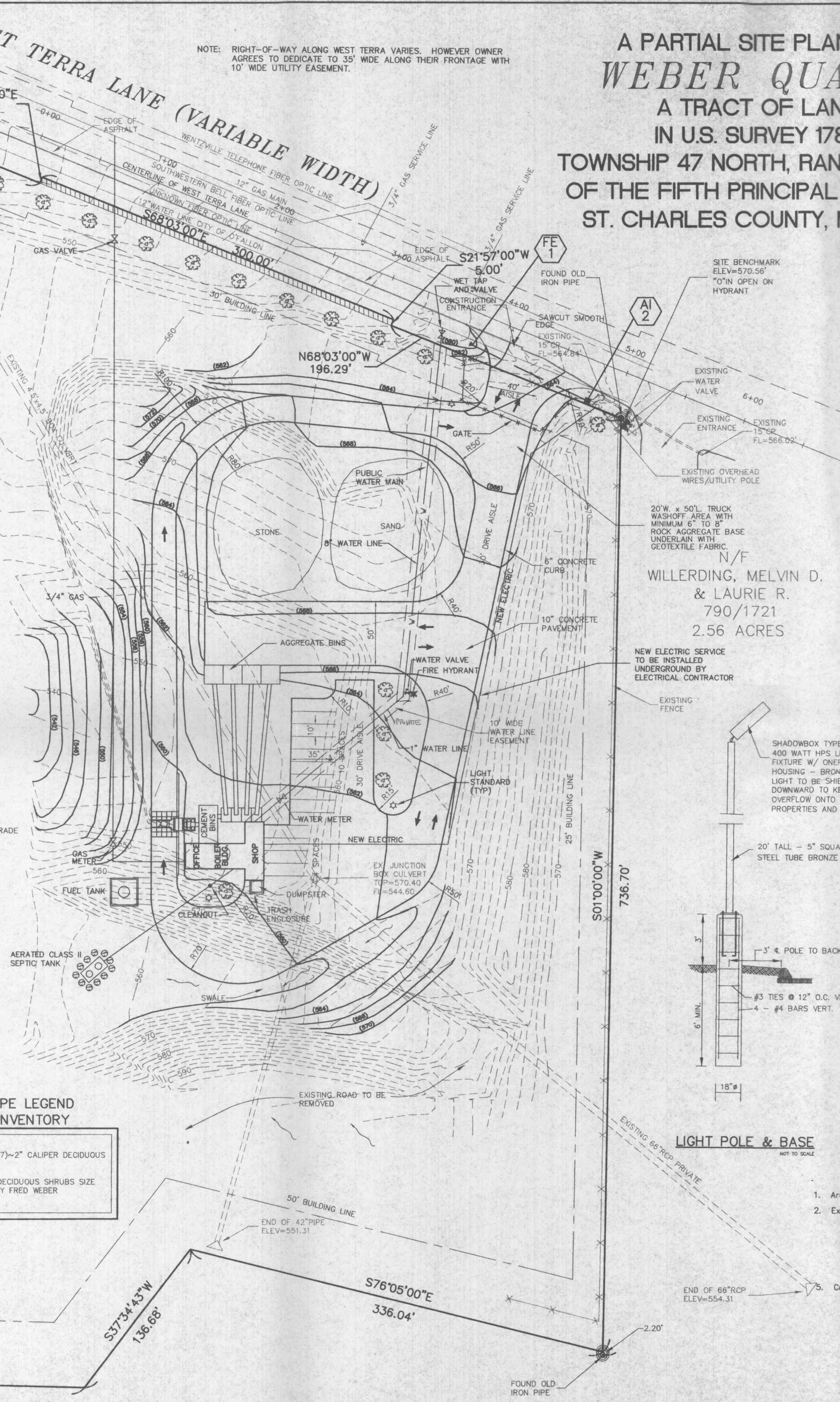


LANDSCAPE LEGEND & TREE INVENTORY



ELEV. AT TRASH ENCLOSURE GATE
 REAR & SIDE VIEW OF TRASH ENCLOSURE

NOTE: RIGHT-OF-WAY ALONG WEST TERRA VARIES. HOWEVER OWNER AGREES TO DEDICATE TO 35' WIDE ALONG THEIR FRONTAGE WITH 10' WIDE UTILITY EASEMENT.



N/F
 WILLERDING, MELVIN D.
 & LAURIE R.
 790/1721
 2.56 ACRES

GENERAL NOTES

1. Underground utilities have plotted from available information and therefore location shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
2. All curbing to be concrete.
3. All filled places, including trench backfills, under buildings, proposed storm and sanitary sewer lines and/or paved areas, shall be compacted to 90% maximum density as determined by the "Modified AASHTO T-180 Compaction Test," (A.S.T.M.-D-1557). All filled places within public roadways buildings, proposed storm and sanitary sewer lines and/or shall be compacted to 95% of maximum density as determined by the "Standard Proctor Test AASHTO T-99, Method C" (A.S.T.M.-D-698). Soil compaction results shall be provided upon completion of grading activities to the city of O'Fallon Engineering department.
4. All trench backfills under paved areas shall be granular backfill, and shall be compacted to 90% of the maximum density as determined by the "Modified AASHTO T-180 Compaction Test," (A.S.T.M.-D-1557). All other trench backfills may be earth material (free of large clods or stones). All trench backfills shall be water jetted.
5. No area shall be cleared without the permission of the project engineer.
6. All construction and materials used shall conform to current city of O'Fallon standards.
7. All grades shall be within 0.2 feet of those shown on the plans.
8. All grading performed shall be done in compliance with city of O'Fallon grading ordinance.
9. All mechanical equipment to be screened on all sides from public view.
10. Siltation control to be provided as directed by the city of O'Fallon, and to be installed prior to any grading.
11. Proposed building and site shall comply with current ADA regulations.
12. No flood plain exists within the boundary of this tract.
13. See architectural drawing for all building dimensions, service connections, details, etc.
14. All utilities shown are existing unless otherwise noted. All utilities to be located and installed underground.
15. All dimensions shown are to back of curb.
16. Contractor to notify the City of O'Fallon 48 hours prior to any construction within the right-of-way.
17. All lighting to be installed with no glare onto adjacent properties.
18. Architect shall supply details for site lighting in compliance with City of O'Fallon specifications.
19. Entrances to be constructed per City of O'Fallon specifications.
20. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction conditions.
21. All fill including places under proposed storm and sanitary sewer lines and paved areas within and off the road right-of-way shall be compacted to 90 percent of maximum density as determined by the "Standard Proctor Test (ASTM-D-698). All tests shall be verified by a Soils Engineer concurrent with grading and backfilling operations. The compacted fill shall be free of rutting and shall be non-yielding and non-pumping during proofrolling and compaction. All trench backfills in paved areas shall be granular fill.
22. The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system.
23. All storm sewer pipe in the right-of-way shall be reinforced concrete pipe (A.S.T.M. C-76, Class III minimum).
24. All storm sewer pipe shall be "O-ring" pipe.
25. All water lines shall be C-900 Class 200 P.V.C.
26. All construction methods and practices to conform with OSHA Standards.
27. All areas for vehicle maneuvering shall be concrete.
28. Developer to Rotomill West Terra Lane at main plant entrance to provide drainage off road. Approximate length ±800'.

DEVELOPMENT NOTES

1. Area of tract: 83.95 Acres
2. Existing Zoning: I-2 Heavy Industrial District
4. Building Setbacks:
 Minimum Front Yard: 30 feet
 Minimum Side Yard: 25 feet
 Minimum Rear Yard: 50 feet
5. Current Owner of Property: Fred Weber Inc.
 2320 Creve Coeur Mill Road
 Maryland Heights, Mo 63043
 (314)-344-0070
6. Site is served by:
 St. Charles Gas Company
 Ameren UE Company
 CTE Telephone Company
 O'Fallon Fire Protection District
 City of O'Fallon Water
 City of O'Fallon Sewers

APPROVED
 12/14/99
 [Signature]

PREPARED FOR:
 FRED WEBER, INC.
 2320 CREVE COEUR MILL RD.
 MARYLAND HEIGHTS, MO 63043
 (314) 344-0070

DISCLAIMER OF RESPONSIBILITY
 I hereby specify that the documents intended to be submitted to my client are limited to this sheet, and I hereby disclaim any responsibility for other drawings, specifications, estimates, reports or other documents or instruments which are or intended to be used for any part or parts of the architectural or engineering project or survey.



REVISIONS

NO.	DATE	DESCRIPTION
1-7-00		CITY COMMENTS
2-3-00		CITY COMMENTS
2-14-00		CITY COMMENTS
3-1-00		WATER EASEMENT
3-13-00		CITY COMMENTS
3-28-00		CITY COMMENTS
4-12-00		CITY COMMENTS



1052 South Cloverleaf Drive
 St. Peters, MO. 63370-6445
 314-928-5552
 FAX 928-1718

12-14-99
 DATE
 84-1628C
 PROJECT NUMBER
 1 OF 3
 SHEET OF
 1628BPRE.DWG
 FILE NAME
 SWR RLF
 DRAWN CHECKED
 JRS 10-27-99
 FIELD WORK DATE