

GENERAL NOTES

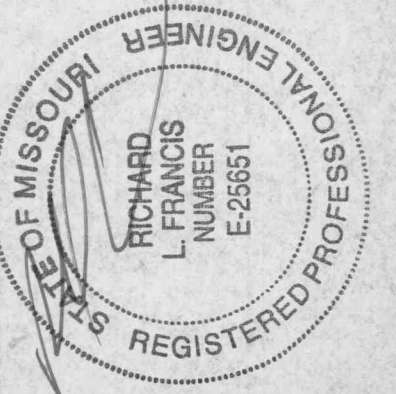
- Underground utilities have plotted from available information and therefore location shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
- No area shall be cleared without the permission of the project engineer.
- All construction and materials used shall conform to current city of O'Fallon standards.
- All grades shall be within 0.2 feet of those shown on the plans.
- All grading performed shall be done in compliance with city of O'Fallon grading ordinance.
- Siltation control to be provided as directed by the city of O'Fallon, and to be installed prior to any grading.
- No flood plain exists within the boundary of this tract.
- See architectural drawing for all building dimensions, service connections, details, etc.
- Contractor to notify the City of O'Fallon 48 hours prior to any construction within the right-of-way.

**A PARTIAL SITE PLAN FOR
WEBER QUARRY
A TRACT OF LAND
IN U.S. SURVEY 1780,
TOWNSHIP 47 NORTH, RANGE 2 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
ST. CHARLES COUNTY, MISSOURI**

- Architect shall supply details for site lighting in compliance with City of O'Fallon specifications.
- All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction conditions.
- The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system.
- All construction methods and practices to conform with OSHA Standards.
- No new lighting is proposed with this development.

PREPARED FOR:
FRED WEBER INC.
2320 CREVE COEUR MILL RD.
MARYLAND HEIGHTS, MO 63043
(314)-344-0070

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



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REVISIONS

NO.	DATE	REVISION
1-7-00		CITY COMMENTS
2-3-00		CITY COMMENTS
2-14-00		CITY COMMENTS

Notes:

- Fred Weber will rotomill the existing pavement from the asphalt plant entrance to the east approximately 800 feet. This work will commence within two to three weeks of site plan approval.
- Fred Weber will rotomill the shoulder on both sides from the asphalt plant entrance to the east property line. This corrective action may require further ancillary grading to restore and ensure proper drainage of the roadway. Shoulder areas currently draining property may be exempted from milling.
- The rotomilled area of pavement will be overlaid by Fred Weber with 2" type C asphaltic concrete. Any necessary spot wedging to correct popouts or deeper rutting will be done by Fred Weber prior to the overlay. The overlaying of the road will take place in either March or April of this year.
- Failed areas within the taper areas of the proposed entrance will be repaired by Fred Weber as the new entrance is installed.



**ENGINEERING
PLANNING
SURVEYING**

1052 South Cloverleaf Drive
St. Peters, MO. 63376-6445
314-928-5552
FAX 928-1718

12-14-99
DATE

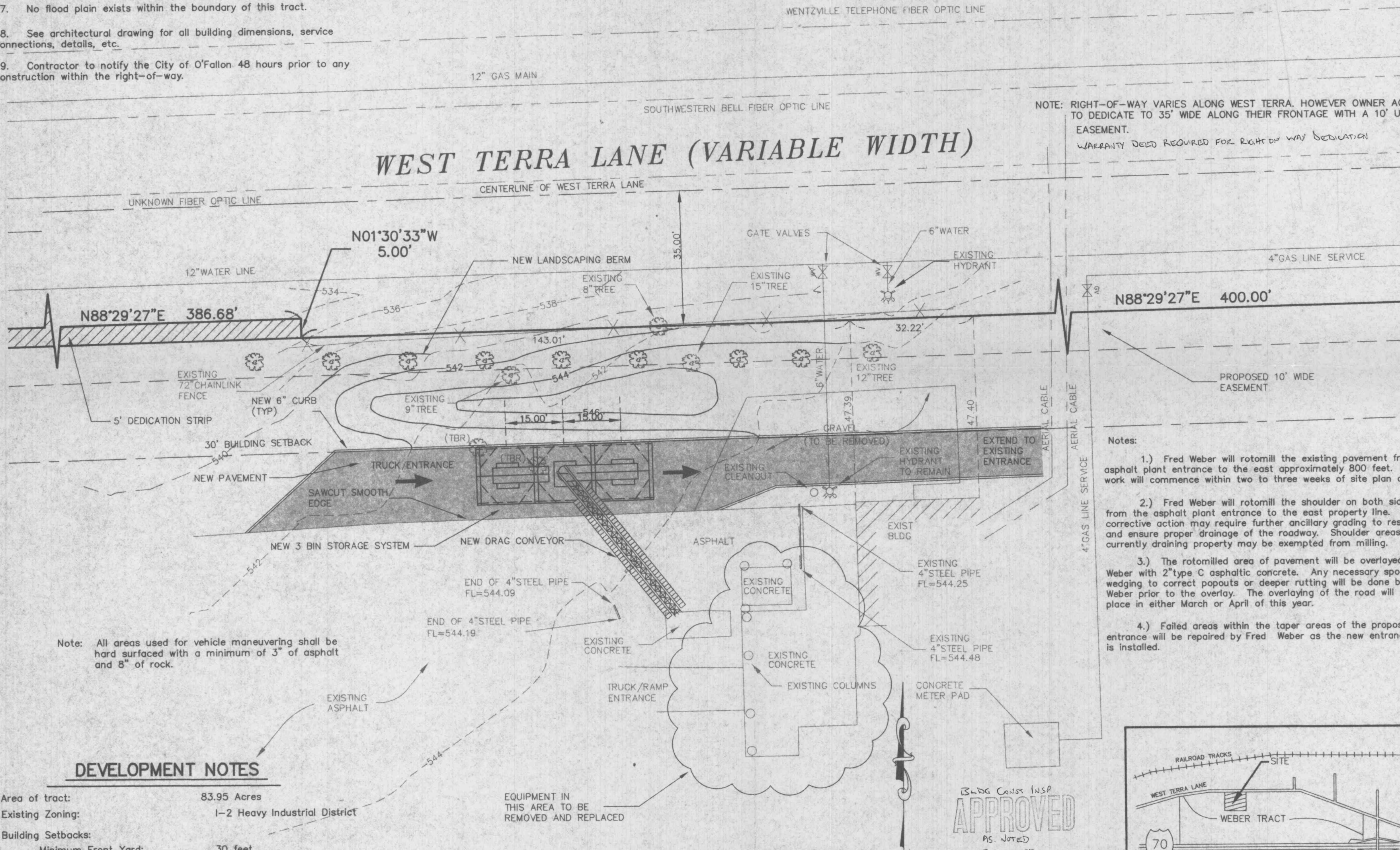
84-1628C
PROJECT NUMBER

1 OF 1
SHEET OF

1628CPRE.DWG
FILE NAME

SWR RLF
DRAWN CHECKED

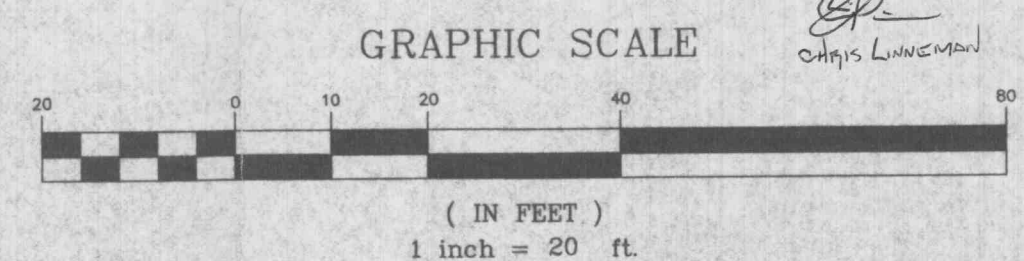
LOCATION MAP
NTS



Note: All areas used for vehicle maneuvering shall be hard surfaced with a minimum of 3" of asphalt and 8" of rock.

DEVELOPMENT NOTES

- Area of tract: 83.95 Acres
- Existing Zoning: I-2 Heavy Industrial District
- Building Setbacks:
 - Minimum Front Yard: 30 feet
 - Minimum Side Yard: 25 feet
 - Minimum Rear Yard: 50 feet
- Current Owner of Property: Fred Weber Inc. 2320 Creve Coeur Mill Road Maryland Heights, Mo. 63043 (Under Contract)
- Site is served by:
 - St. Charles Gas Company
 - Ameren UE Electric Company
 - GTE Telephone Company
 - O'Fallon Fire Protection District
 - City of O'Fallon Water
 - City of O'Fallon Sewer District



APPROVED
AS NOTED
2-16-2000
Chris Linneman

