## GENERAL NOTES

- Underground utilities have plotted from available information and therefore location shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
- 2. No area shall be cleared without the permission of the project engineer.
- 3. All construction and materials used shall conform to current city of O'Fallon standards.
- 4. All grades shall be within 0.2 feet of those shown on the plans.
- 5. All grading performed shall be done in compliance with city of O'Fallon grading ordinance.
- 6. Siltation control to be provided as directed by the city of O'Fallon, and to be installed prior to any grading.
- 7. No flood plain exists within the boundary of this tract.
- 8. See architectural drawing for all building dimensions, service connections, details, etc.
- 9. Contractor to notify the City of O'Fallon 48 hours prior to any construction within the right-of-way.

83.95 Acres

30 feet

25 feet 50 feet

Fred Weber Inc.

(314)-344-0070

2320 Creve Coeur Mill Road

Maryland Heights, Mo. 63043

I-2 Heavy Industrial District

1. Area of tract:

2. Existing Zoning:

4. Building Setbacks:

Minimum Front Yard:

Minimum Side Yard:

Minimum Rear Yard:

St. Charles Gas Company

GTE Telephone Company

City of O'Fallon Water

Ameren UE Electric Company

O'Fallon Fire Protection District

City of O'Fallon Sewer District

5. Current Owner of Property:

(Under Contract)

6. Site is served by:

A PARTIAL SITE PLAN FOR WEBER QUARRY A TRACT OF LAND IN U.S. SURVEY 1780,

TOWNSHIP 47 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI

12" GAS MAIN

EQUIPMENT IN

THIS AREA TO BE

REMOVED AND REPLACED

WENTZVILLE TELEPHONE FIBER OPTIC LINE

BLDG CONST INSP

AS. NOTED

2.16.2000

GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

- 10. Architect shall supply details for site lighting in compliance with City of O'Fallon specifications.
- 11. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match preconstruction
- 12. The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system.
- All construction methods and practices to conform with OSHA Standards.

- WEBER TRACT

LOCATION MAP

No new lighting is proposed with this development.

INC. SOEUR IGHTS, OR ECE WEBE CREV AND -344-AR EP 00 31 A 32

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DISCLAIMER OF RESPONSIBILITY hereby specify that the documents intended to be authenticated by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other Drawings, Specifications, Estimates, Reports or other documents or instruments relating to or intended to be us or any part or parts of the architectural o



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REVISIONS

1-7-00 CITY COMMENTS 2-3-00 CITY COMMENTS 2-14-00 CITY COMMENTS



ENGINEERING PLANNING SURVEYING

1052 South Cloverleaf Drive St. Peters, MO. 63376-6445 314-928-5552 FAX 928-1718

12-14-99 DATE 84-1628C PROJECT NUMBER 1 OF 1 SHEET OF 1628CPRE.DWG FILE NAME SWR RLF

DRAWN CHECKED

NOTE: RIGHT-OF-WAY VARIES ALONG WEST TERRA. HOWEVER OWNER AGREES TO DEDICATE TO 35' WIDE ALONG THEIR FRONTAGE WITH A 10' UTILITY. SOUTHWESTERN BELL FIBER OPTIC LINE WEST TERRA LANE (VARIABLE WIDTH) WARRANTY DEED REDVIRED FOR RIGHT OF WAY BEDICATION CENTERLINE OF WEST TERRA LANE UNKNOWN FIBER OPTIC LINE N01°30'33"W GATE VALVES 5.00 4"GAS LINE SERVICE NEW LANDSCAPING BERM 12"WATER LINE EXISTING 15"TREE N88°29'27"E 400.00' N88'29'27"E 386.68 32.22 PROPOSED 10' WIDE 12"TREE 72"CHAINLINK EASEMENT NEW 6" CURB 15.00' 15.60 - 5' DEDICATION STRIP EXTEND TO 30' BUILDING SETBACK Notes: EXISTING 1.) Fred Weber will rotomill the existing pavement from the ENTRANCE HYDRANT TRUCK / ENTRANCE asphalt plant entrance to the east approximately 800 feet. This TO REMAIN NEW PAVEMENT work will commence within two to three weeks of site plan approval. SAWCUT SMOOTH/ 2.) Fred Weber will rotomill the shoulder on both sides from the asphalt plant entrance to the east property line. This corrective action may require further ancillary grading to restore and ensure proper drainage of the roadway. Shoulder areas NEW DRAG CONVEYOR-ASPHALT currently draining property may be exempted from milling. NEW 3 BIN STORAGE SYSTEM 3.) The rotomilled area of pavement will be overlayed by Fred Weber with 2"type C asphaltic concrete. Any necessary spot 4"STEEL PIPE EXISTING wedging to correct popouts or deeper rutting will be done by Fred END OF 4"STEEL PIPE CONCRET FL=544.09 Weber prior to the overlay. The overlaying of the road will take place in either March or April of this year. END OF 4"STEEL PIPE 4.) Failed areas within the taper areas of the proposed FL=544.19 entrance will be repaired by Fred Weber as the new entrance EXISTING Note: All areas used for vehicle maneuvering shall be 4"STEEL PIPE hard surfaced with a minimum of 3" of asphalt EXISTING CONCRETE FL=544.48 and 8" of rock. - EXISTING COLUMNS CONCRETE TRUCK / RAMP METER PAD EXISTING ENTRANCE ASPHALT RAILROAD TRACKS DEVELOPMENT NOTES