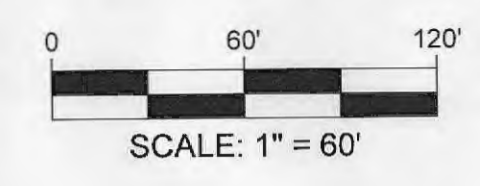
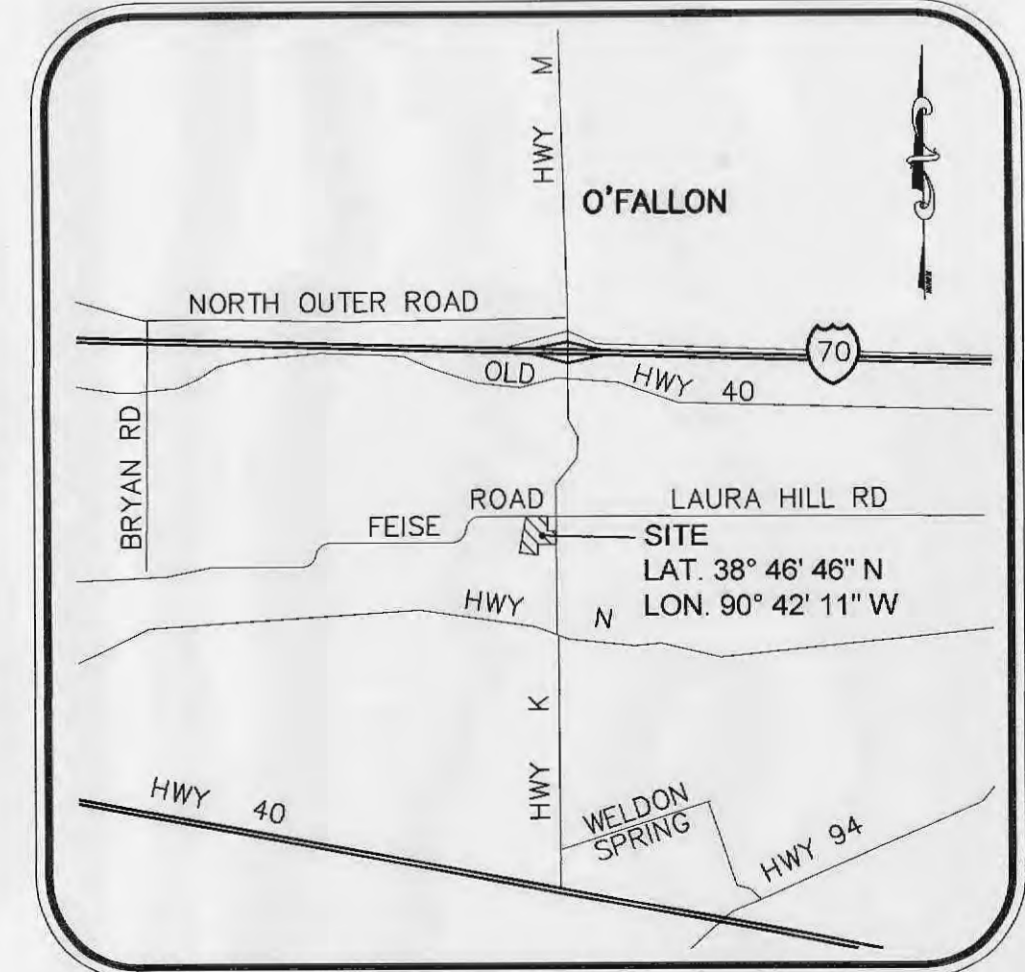


OVERALL SITE PLAN



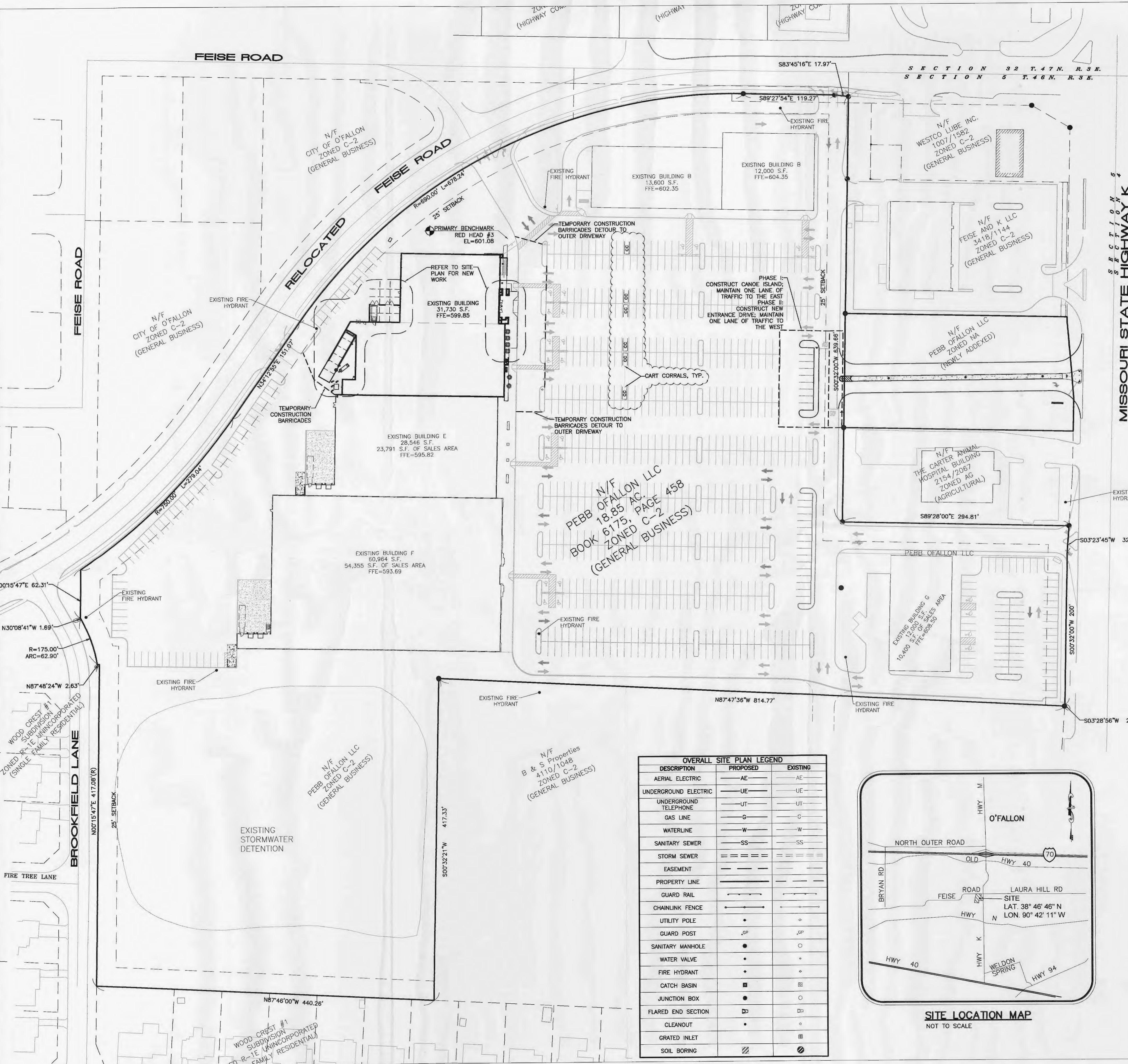
SITE NOTES:

- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
- Topography field work was completed on this site by Buescher Frankenberg Associates, Inc. on December 2014.
- Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
Primary Benchmark - Red Head #3 at the Northwest of property North of the Front Entrance. Elevation=601.08
- This site is designated as Zone "X" - Area determined to be outside of 500-year Floodplain, as per Federal Emergency Management Agency National Flood Insurance Rate Map, Community Panel Map No. 29183C0239E, dated August 2, 1996.
- All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
- Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
- The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
- All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractors expense.
- The sitework for this project shall meet or exceed the "Site Specific Specifications."
- The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
- All dimensions and radii are to the back of curb, unless otherwise shown.
- Contractor shall be responsible for all removals of and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
- Refer also to Architectural Site Plans and Foundation Plans.
- Building setback lines as per the City of O'Fallon Zoning Ordinance are:
Zone C-2 General Business District
Front yard: 25'
Side yard: 0' (25' on Corner Lots)
Rear yard: 10'
- Storm water detention exists on-site. No new impervious area will be added to the site.
- Bufferyards will remain as exists. Site improvements will not impact any existing bufferyard.
- Refer to Architectural plans for roof top unit screening.
- Existing building heights will remain. Refer to Architectural plans for information.
- No change in parking count is anticipated due to the addition of the dock. The minimal floor space added is strictly for loading / unloading. No consumer floor area is being added.
- Accessible parking spaces will remain as exists.
- Site lighting will remain unchanged.
- Landscaping will remain as exists.
- Site Coverage will remain unchanged
- All existing pavement and striping will be inspected. Deteriorated areas will be repaired and a maintenance schedule will be planned
- Dead or previously removed landscaping will be replaced.
- No site lighting will be added or changed with the construction of this plan.



SITE LOCATION MAP
NOT TO SCALE

OVERALL SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	— AE —	— AE —
UNDERGROUND ELECTRIC	— UE —	— UE —
UNDERGROUND TELEPHONE	— UT —	— UT —
GAS LINE	— G —	— G —
WATERLINE	— W —	— W —
SANITARY SEWER	— SS —	— SS —
STORM SEWER	— SS —	— SS —
EASEMENT	— —	— —
PROPERTY LINE	— —	— —
GUARD RAIL	— GR —	— GR —
CHAINLINK FENCE	— CF —	— CF —
UTILITY POLE	•	•
GUARD POST	•	•
SANITARY MANHOLE	•	•
WATER VALVE	•	•
FIRE HYDRANT	•	•
CATCH BASIN	•	•
JUNCTION BOX	•	•
FLARED END SECTION	•	•
CLEANOUT	•	•
GRATED INLET	•	•
SOIL BORING	•	•



BFA
 CONSULTANTS-ENGINEERS-PLANNERS
 WWW.BFAENG.COM
 103 ELM STREET
 WASHINGTON, MISSOURI 63090

CERTIFIED BY:
 [Professional Engineer Seal]
 MARK A. VIRGIN, P.E.
 No. 0000162109
 State of Missouri
 Professional Engineer Corporation #000472

FRESH THYME - O'FALLON LANDLORD'S WORK
 2235 Highway K
 O'Fallon, Missouri 63368

DRAWN BY: S.A.B.
 CHECKED BY: M.A.H.
 PROJ. NO. 38424

DATE: APRIL 21, 2015
 REVISIONS: REF. DR. 03
 APRIL 21, 2015
 APRIL 21, 2015

SHEET NO. OS-1

OWNER/DEVELOPER: PEBB OFALLON LLC
 CONTACT: TJ Virgin
 ADDRESS: 7900 Glades Rd., Suite 600
 Boca Raton, FL 33434
 (561) 613-4020
 tvirgin@pebbent.com

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.