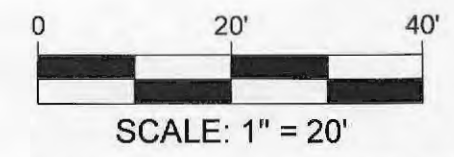
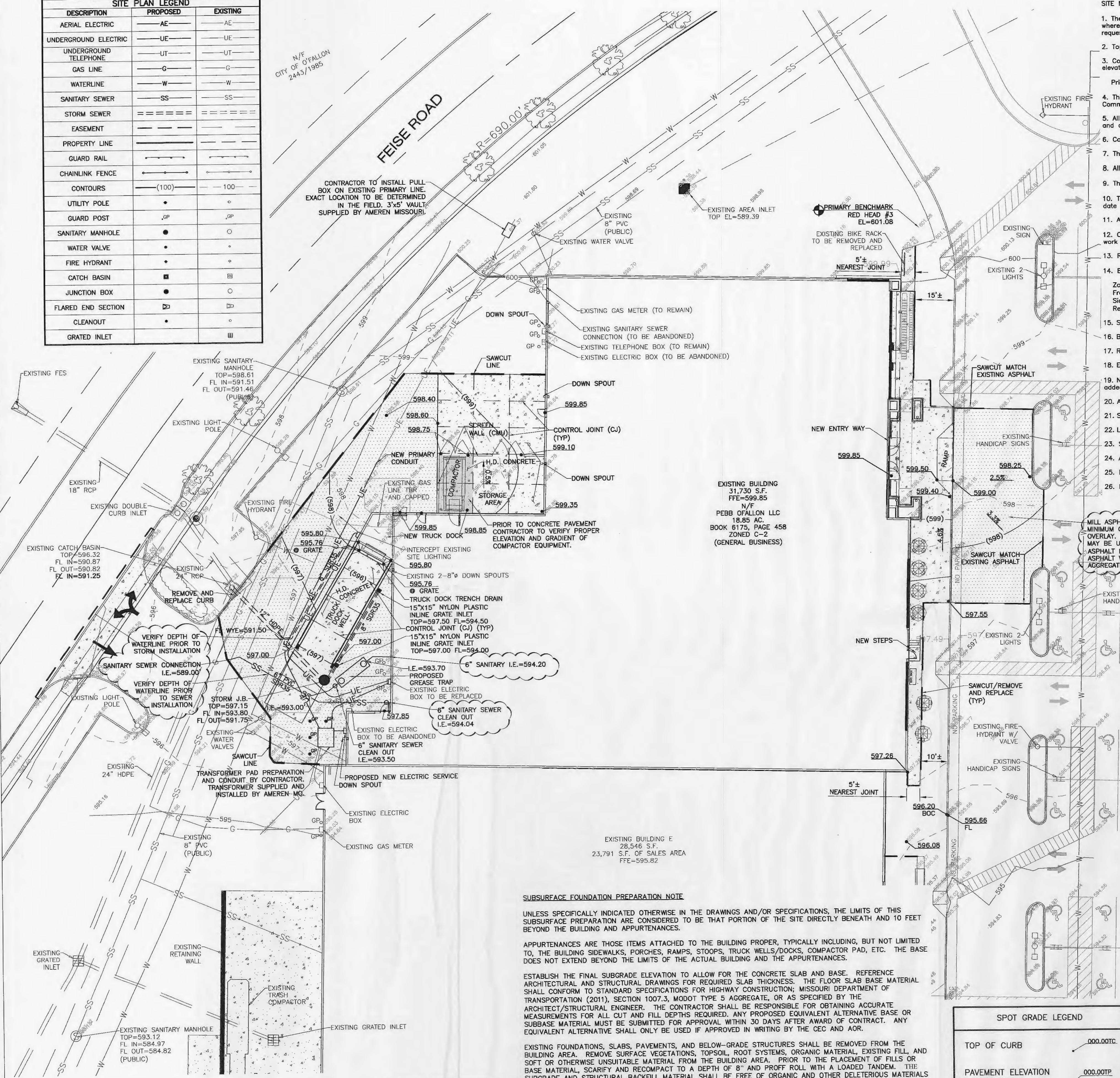


SITE PLAN



SITE PLAN LEGEND		
DESCRIPTION	PROPOSED	EXISTING
AERIAL ELECTRIC	—AE—	—AE—
UNDERGROUND ELECTRIC	—UE—	—UE—
UNDERGROUND TELEPHONE	—UT—	—UT—
GAS LINE	—G—	—G—
WATERLINE	—W—	—W—
SANITARY SEWER	—SS—	—SS—
STORM SEWER	—SS—	—SS—
EASEMENT	—E—	—E—
PROPERTY LINE	—P—	—P—
GUARD RAIL	—GR—	—GR—
CHAINLINK FENCE	—CF—	—CF—
CONTOURS	(100)	—100—
UTILITY POLE	•	•
GUARD POST	GP	GP
SANITARY MANHOLE	•	•
WATER VALVE	•	•
FIRE HYDRANT	•	•
CATCH BASIN	■	■
JUNCTION BOX	•	•
FLARED END SECTION	▭	▭
CLEANOUT	•	•
GRATED INLET	■	■



- SITE NOTES:**
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The Contractor must call the appropriate utility company to request exact field location of utilities. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on plans.
 - Topography field work was completed on this site by Buescher Frankenberg Associates, Inc. on December 2014.
 - Contractor shall verify elevation of temporary benchmarks based on the elevation of the primary benchmark, prior to the start of construction. Contractor shall notify engineer if elevations differ from those shown on these plans.
Primary Benchmark - Red Head #3 at the Northwest of property North of the Front Entrance. Elevation=601.08
 - This site is designated as Zone "X" - Area determined to be outside of 500-year Floodplain, as per Federal Emergency Management Agency National Flood Insurance Rate Map, Community Panel Map No. 29183C0239E, dated August 2, 1996.
 - All trenches under paved areas shall be backfilled with granular material and compacted to meet compaction requirements for the parking lot. Granular material shall be placed and compacted to a level equal to the trench depth at the time of the utility installations.
 - Contractor to contact telephone, electric, gas, and water companies to have underground utilities located on this site and adjacent to this site prior to doing any excavating.
 - The contractor is responsible for keeping storm water run-off and sedimentation under control during construction.
 - All survey monuments disturbed during construction shall be replaced by a surveyor licensed in the state, in which this project is located, at the contractor's expense.
 - The sitework for this project shall meet or exceed the "Site Specific Specifications."
 - The Contractor shall verify and/or perform all necessary inspections and/or certifications required by codes and/or utility companies prior to the announced building possession date and the final connections of utility services. All fees shall be paid by the Contractor.
 - All dimensions and radii are to the back of curb, unless otherwise shown.
 - Contractor shall be responsible for all removals and/or relocations, including but not limited to, utilities, storm drainage, signs, traffic signals and poles, etc as required. All work shall be done in accordance with governing authorities specifications and shall be approved by such. All costs shall be included in base bid.
 - Refer also to Architectural Site Plans and Foundation Plans.
 - Building setback lines as per the City of O'Fallon Zoning Ordinance are:
Zone C-2 General Business District
Front yard: 25'
Side yard: 0' (25' on Corner Lots)
Rear yard: 10'
 - Storm water detention exists on-site. No new impervious area will be added to the site.
 - Bufferyards will remain as exists. Site improvements will not impact any existing bufferyard.
 - Refer to Architectural plans for roof top unit screening.
 - Existing building heights will remain. Refer to Architectural plans for information.
 - No change in parking count is anticipated due to the addition of the dock. The minimal floor space added is strictly for loading / unloading. No consumer floor area is being added.
 - Accessible parking spaces will remain as exists.
 - Site lighting will remain unchanged.
 - Landscaping will remain as exists.
 - Site Coverage will remain unchanged.
 - All existing pavement and striping will be inspected. Deteriorated areas will be repaired and a maintenance schedule will be planned.
 - Dead or previously removed landscaping will be replaced.
 - No site lighting will be added or changed with the construction of this plan.

GENERAL CONCRETE NOTES (STRUCTURAL SPECIFICATIONS PREVAIL IF CONFLICTED WITH BELOW):

- The contractor shall coordinate the size and location of equipment pads and penetrations through the structure for mechanical, electrical and plumbing work.
- Slabs-on-grade
 - The building pad will include, but not be limited to that which is presented in the "Foundation Subsurface Preparation" description.
 - Standard procedures of frost protection for foundations and excavations shall be employed for winter construction Backfilling of excavations shall be done as soon as possible to protect foundations from frost.
 - Slabs-on-grade are unreinforced concrete unless noted otherwise.
 - Provide saw cut joints at 12'-0" o.c. maximum spacing unless noted otherwise on the contract drawings.
 - Provide (2) #4 bar, 2'-0" long diagonally in top of slab at reentrant corners.
 - "CJ" indicates saw cut contraction joint in slab-on-grade, "const JT" indicates doweled construction joint in slab-on-grade.
 - Heavy Duty Concrete shall be 8" concrete reinforced with #4 bars at 16" o.c. ew placed 3" from top of slab, provide contraction joints at 15'-0" max. ref specifications 03310 for slump and air content. truck dock subgrade preparation and base course material shall be the same as for the heavy duty pavement.
 - Reference specification 03310 for slump and air content. subgrade preparation and base course material shall be the same for all pavement.
 - Foundation penetrations shall be subject to approval by the architect/engineer. penetrations shall be through foundation stemwall or 6" clear below footing.
- Concrete and reinforcing steel
 - Minimum compressive strength (f'c) at the end of 28 days shall be as follows:
A. Exterior cast-in-place concrete slabs 4,000 psi specification section 02751
B. Compactor pad 5000 psi
C. For all other concrete properties refer to specifications.
 - Reinforcing steel shall meet ASTM specification a 615, deformed bar, grade 60 or ASTM specification a 706, deformed bar, grade 60. ref sheet 04 for lap lengths LINK on details.
 - Refer to ACI 318 for concrete cover, ACI 315 for detailing practices and fabrication, and aci 301 for standard practice for mixing and placing concrete.

CITY OF O'FALLON SPECIAL NOTES:

- All proposed utilities and/or utility relocations shall be located underground.
- If materials such as trees, organic debris, rubble, foundations and other deleterious material are not to be reused, they shall be removed from the site and disposed of in compliance with all applicable laws and regulations.
- No slopes shall exceed 3 (horizontal): 1 (vertical)
- All fill placed under proposed storm and sanitary sewers, proposed roads and/or paved areas shall be compacted to 90% of maximum density as determined by the Modified AASHTO T-190 Compaction Test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99. All fill placed in proposed roads shall be compacted from the bottom of the fill up. All tests shall be verified by a soils engineer concurrent with grading and backfilling operations.
- The Permittee shall assume complete responsibility for controlling all siltation and erosion of the project area. The Permittee shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation fabric fences (possible methods of control are detailed in the plan). Control shall commence with the clearing operations and be maintained throughout the project until acceptance of the work by the City of O'Fallon and as necessary by MoDOT. The Permittee's responsibilities include all design and implementation as required to prevent erosion and the depositing of silt. The City of O'Fallon and as required by MoDOT may at their option direct the Permittee in his methods as deemed fit to protect property and improvements. Any depositing of silt or mud on new or existing pavement shall be removed immediately. Any depositing of silts or mud in new or existing storm sewers or swales shall be removed after each rain and affected areas cleaned to the satisfaction of the City of O'Fallon and as required by MoDOT.
- All erosion control systems are inspected and corrected weekly, especially within 48 hours of any rainstorm resulting in one-half inch of rain or more. Any silt or debris leaving the site and affecting public rights-of-ways or storm water drainage facilities shall be cleaned up within 24 hours after the end of the storm.
- Any existing wells and/or springs which may exist on the property must be sealed in a manner acceptable to the City of O'Fallon Construction Inspection Department and following Missouri Department of Natural Resources standards and specifications.
- All paving to be in accordance with St. Charles County standards and specifications except as modified by the City of O'Fallon ordinances.
- Sidewalks, curb ramps and accessible parking spaces shall be constructed in accordance with currently approved Americans with Disabilities Act Accessibility Guidelines along with the required grades, signage, specifications and construction materials. If any conflict occurs between the above information and the plans, the ADAAG guidelines shall be followed and the contractor, prior to any construction, shall notify the Project Engineer.
- All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, he/she shall make such changes at his/her own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City inspectors.
- Traffic control is to be per MoDOT or MUTCD whichever is more stringent.
- All traffic signals, street signs, sign post, backs and bracket arms shall be painted black using Carboline Rustbond Penetrating Sealer SG and Carboline 133 HB paint (or equivalent as approved by the City of O'Fallon and MoDOT).
- All sanitary laterals and sanitary mains crossing under pavement must have proper rock backfill and required compaction.
- Lighting values will be reviewed on site prior to the final occupancy inspection.
- The estimated sanitary flow shall be measured in gallons per day.
- Connections at all sanitary or storm structures to be made with A-lock joint or equal.
- Brick shall not be used in the construction of sanitary or storm sewer structures.
- All concrete pipes will be installed with O-ring rubber type gaskets.
- HDPE pipe is to be N-12WT or equal and to meet ASTM F1417 water tight field test.
- See Section 03000 of Specification Sheet 2 for Water Jetting specification.
- A 5/8" trash bar shall be centered within the opening(s) of all curb inlets and area inlets.
- No graded areas are to remain bare for over 14 days without being seeded and mulched.
- O'Fallon Sewer and Water will need to inspect the sanitary connection from the building to the sanitary main.

SUBSURFACE FOUNDATION PREPARATION NOTE

UNLESS SPECIFICALLY INDICATED OTHERWISE IN THE DRAWINGS AND/OR SPECIFICATIONS, THE LIMITS OF THIS SUBSURFACE PREPARATION ARE CONSIDERED TO BE THAT PORTION OF THE SITE DIRECTLY BENEATH AND 10 FEET BELOW THE BUILDING AND APPURTENANCES.

APPURTENANCES ARE THOSE ITEMS ATTACHED TO THE BUILDING PROPER, TYPICALLY INCLUDING, BUT NOT LIMITED TO, THE BUILDING SIDEWALKS, PORCHES, RAMPS, STOOPS, TRUCK WELLS/DOCKS, COMPACTOR PAD, ETC. THE BASE DOES NOT EXTEND BEYOND THE LIMITS OF THE ACTUAL BUILDING AND THE APPURTENANCES.

ESTABLISH THE FINAL SUBGRADE ELEVATION TO ALLOW FOR THE CONCRETE SLAB AND BASE. REFERENCE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR REQUIRED SLAB THICKNESS. THE FLOOR SLAB BASE MATERIAL SHALL CONFORM TO STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION; MISSOURI DEPARTMENT OF TRANSPORTATION (2011), SECTION 1007.3, MODOT TYPE 5 AGGREGATE, OR AS SPECIFIED BY THE ARCHITECT/STRUCTURAL ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ACCURATE MEASUREMENTS FOR ALL CUT AND FILL DEPTHS REQUIRED. ANY PROPOSED EQUIVALENT ALTERNATIVE BASE OR SUBBASE MATERIAL MUST BE SUBMITTED FOR APPROVAL WITHIN 30 DAYS AFTER AWARD OF CONTRACT. ANY EQUIVALENT ALTERNATIVE SHALL ONLY BE USED IF APPROVED IN WRITING BY THE CEC AND AOR.

EXISTING FOUNDATIONS, SLABS, PAVEMENTS, AND BELOW-GRADE STRUCTURES SHALL BE REMOVED FROM THE BUILDING AREA. REMOVE SURFACE VEGETATIONS, TOPSOIL, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AREA. PRIOR TO THE PLACEMENT OF FILLS OR BASE MATERIAL, SCARIFY AND RECOMPACT TO A DEPTH OF 8" AND PROFF ROLL WITH A LOADED TANDEM. THE SUBGRADE AND STRUCTURAL BACKFILL MATERIAL SHALL BE FREE OF ORGANIC AND OTHER DELETERIOUS MATERIALS AND SHALL MEET THE FOLLOWING REQUIREMENTS:

LOCATION WITH RESPECT TO FINAL GRADE BUILDING AREA,
3 FEET BELOW THE BUILDING FLOOR SLAB SUBGRADE AND
2 FEET BELOW THE BUILDING FOOTING SUBGRADE

P.L. <25 MAX.>
L.L. <45 MAX.>

SUBGRADE MATERIAL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). THE MOISTURE CONTENT FOR LOW PLASTIC SOILS SHALL RANGE FROM 2 PERCENT BELOW TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.

SPOT GRADE LEGEND	
TOP OF CURB	000.00C
PAVEMENT ELEVATION	000.00P
● BUILDING	
INTERIOR PAVEMENT/ GROUND ELEVATIONS	000.00
GUTTER ELEVATION	000.00G
● FACE OF CURB	

OWNER/DEVELOPER: PEBB OFALLON LLC
CONTACT: TJ Virgin
ADDRESS: 7900 Glades Rd., Suite 600
 Boca Raton, FL 33434
PHONE: (561) 613-4020
EMAIL: tvirgin@pebb.com

Three working days prior to the start of any excavation on this site the Contractor shall contact 1-800-344-7483 for utility location information.

The contractor shall verify and implement all the required Federal Occupational Safety and Health Administration (OSHA) and/or OSHA approved state-plan regulations established for the type of construction required by these plans.

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 MISSOURI PROFESSIONAL Engineer
 MISSOURI PROFESSIONAL Engineer Corporation #000472

APR 21, 2015
 MARCH 3, 2015
 REVISIONS: 1
 DATES: 1
 SHEET NO. SP-1