

**UTILITIES NOTE**

UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE, THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UTILITIES LOCATED IN THE FIELD PRIOR TO EXCAVATION OR CONSTRUCTION.



**SITE PLAN NOTES**

- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS CONTACT UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON OR RELATING TO THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE OR ARRANGE FOR THE RELOCATION OF ANY UTILITIES AFFECTED BY THE PROJECT CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF O'FALLON STANDARD SPECIFICATIONS, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS SHOWN HEREON ARE AT FACE OF CURB, UNLESS NOTED OTHERWISE.
- WORK NOT SPECIFICALLY DETAILED OR CALLED OUT HEREON REQUIRED TO COMPLETE THE SITE CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THE WORK WHICH IS CALLED OUT HEREON.
- REFER TO ARCHITECTURAL PLANS FOR EXTERIOR SITE LIGHTING, INTERIOR BUILDING UTILITIES AND BUILDING DETAILS.

**SITE PLAN KEYED NOTES**

- PROPOSED CONCRETE PAVEMENT
- PROPOSED 6" VERTICAL CURB
- PROPOSED SIDEWALK TO BE FLUSH WITH PAVEMENT, NO CURB OR RAMPS
- PROPOSED SIDEWALK
- PROPOSED HANDICAP SYMBOL, SIGN, AND STRIPING (ALL TO BE PAINTED BLUE)
- PROPOSED 4" WIDE PARKING STRIPE
- MATCH EXISTING PAVEMENT
- 6'X6' CONCRETE PAD WITH BIKE RACK
- PROPOSED PARKING STOPS
- PROPOSED MEDICAL BUILDING
- PROPOSED LIGHTING STANDARDS
- PROPOSED BOLLARDS
- PROPOSED LOADING SPACE
- PROPOSED 6.5' TALL SIGHT PROOF FENCE
- REMOVE AND REPLACE-IN-KIND ASPHALT PAVEMENT

**PARKING CALCULATIONS**

REQUIRED PARKING SPACES: MEDICAL - ONE (1) SPACE PER 200 SQ. FT. OF FLOOR AREA  
 BUILDING FLOOR AREA = 5,893 SQ. FT.  
 5,893 / 200 = 29 SPACES REQUIRED

PARKING SPACES SHOWN = 37 (INCLUDING 2 ADA SPACES)

**LANDSCAPING PLANS**

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	HEIGHT
	13	PLUM PURPLE-LEAF	PRUNUS CERASIFERA	15'

\*\*CONIFER TREES MUST BE A MINIMUM OF 6' IN HEIGHT.  
 \*\*DECIDUOUS TREES MUST BE A MINIMUM OF 2" IN CALIPER

**LANDSCAPE CALCULATIONS**

STREET TREES: 1 TREE PER EVERY 40.00' OF PUBLIC/Private STREET FRONTAGE.  
 TREES REQUIRED: 373' \* 1 TREE/EVERY 40.00' = 10 REQUIRED  
 SITE TREES: 1 PER 4,000 S.F. OPEN SPACE = 10,018 S.F. OPEN SPACE/4,000 = 3 TREES  
 TREES PROVIDED: 11 STREET TREES + 2 SITE TREES = 13 TREES plus 11 EXISTING TREES TO REMAIN

PARKING LOT LANDSCAPING:  
 NUMBER OF PROPOSED PARKING STALLS = 37  
 LANDSCAPING AREA REQUIRED = 37 \* 270 \* 6% = 599 SQ. FT.  
 LANDSCAPING PROVIDED = 1,001 SQ. FT.

**LANDSCAPE BUFFER**

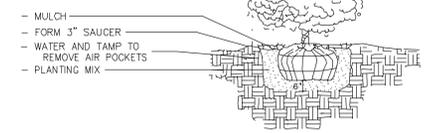
LANDSCAPE BUFFER REQUIRED: 2 PLANT UNITS AND 6 FOOT HIGH SIGHT PROOF FENCE PER 100 FEET OF FRONTAGE REQUIRING BUFFER  
 TREES REQUIRED: 243' \* 2 TREE/EVERY 100.00' = 5 REQUIRED  
 EXISTING TREES: 11 TREES EXISTING IN LANDSCAPE BUFFER

NOTE: SIGNAGE IS REVIEWED THROUGH A SEPARATE PERMITTING PROCESS

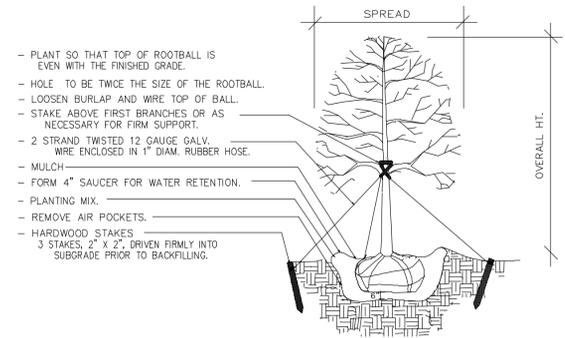
NOTE: LANDSCAPING AND PARKING LOCATED WITH IN THE 50'W INGRESS/EGRESS EASEMENT (1002/1593) OR THE 30'W INGRESS/EGRESS EASEMENT (911/1433) SUBJECT TO REMOVAL FOR ANY FUTURE ROAD WIDENING



SCALE: 1" = 20'



L3.1-02 SHRUB PLANTING DETAIL N.T.S.

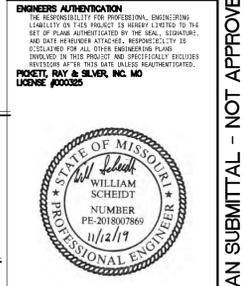


L3.1-01 TREE STAKING/PLANTING DETAIL N.T.S.

PROJECT TITLE  
 SITE PLAN  
 FRONTIER INTEGRATED HEALTH  
 CENTER, INC  
 PRS No. 82129.FRIN.02R  
 TASK 002

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 Civil Engineering & Land Surveying  
 Beyond Standard



WILL SCHEIDT, P.E.  
 PROFESSIONAL ENGINEER LICENSE 2018007869

Developer / Owner Information  
**RJO Enterprises Inc.**  
 2011 Highway K  
 O'Fallon, Missouri 63366

P+Z No. 19-000007  
 City No. 19-002258

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\*\*\* 11/12/2019 IMPROVEMENT PLAN SUBMITTAL - NOT APPROVED \*\*\*