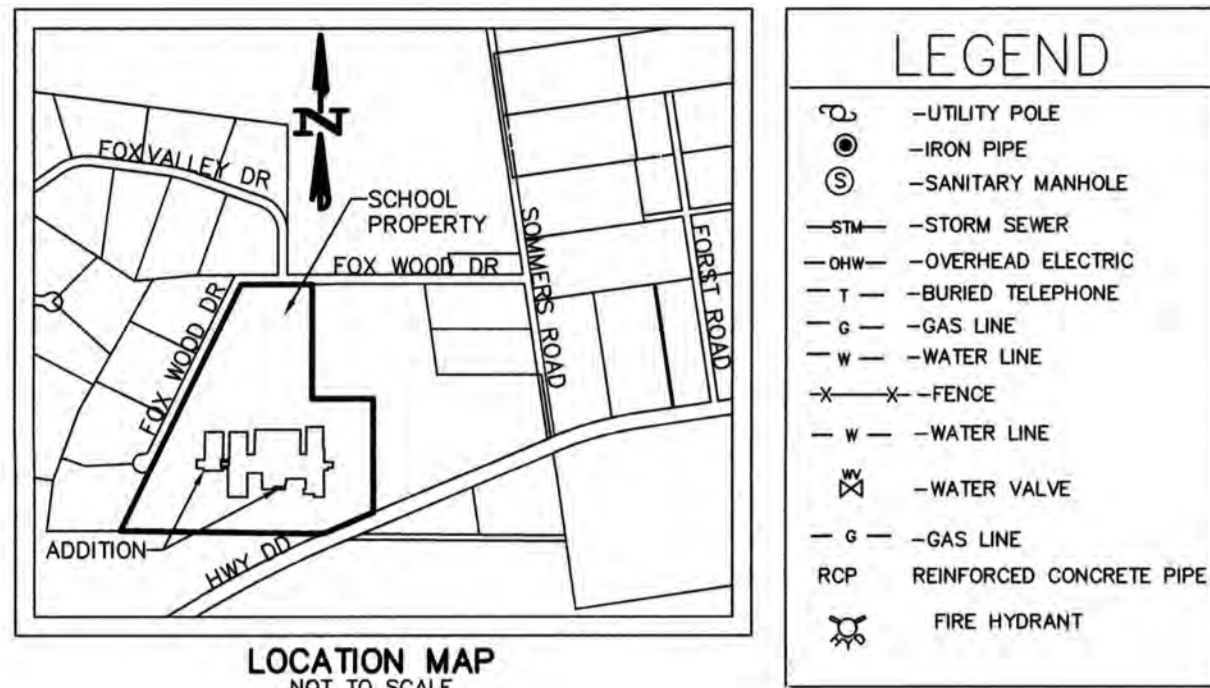


A SET OF CONSTRUCTION PLANS FOR FRONTIER MIDDLE SCHOOL ADDITION

A TRACT OF LAND BEING PART OF FRACTIONAL SECTION 15, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE FIFTH PRINCIPAL MERIDIAN ST. CHARLES COUNTY, MISSOURI

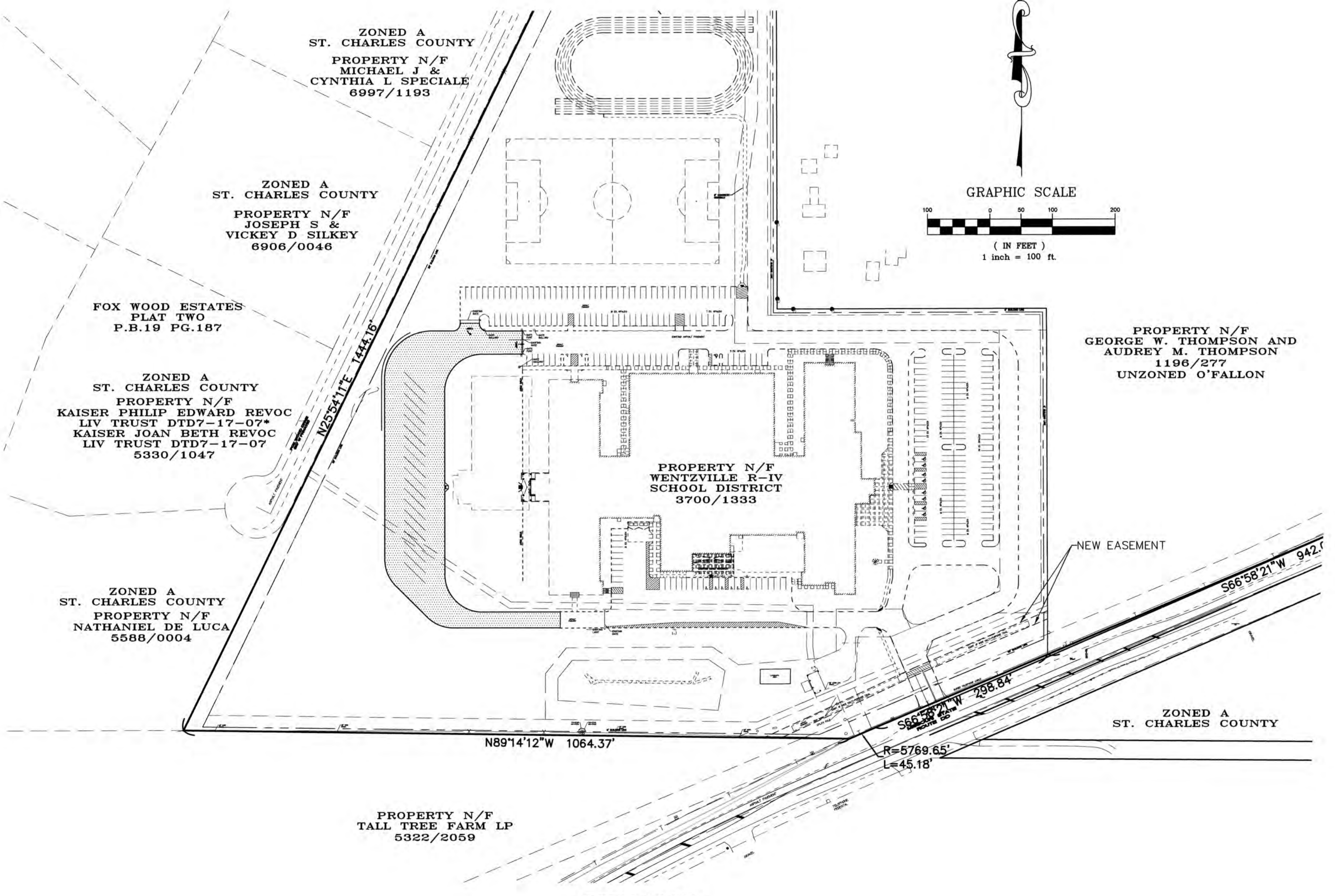


LEGEND	
⊕	UTILITY POLE
⊙	IRON PIPE
⊗	SANITARY MANHOLE
⊖	STORM SEWER
—	OVERHEAD ELECTRIC
- - -	BURIED TELEPHONE
—	GAS LINE
—	WATER LINE
—	FENCE
—	WATER LINE
—	WATER VALVE
—	GAS LINE
—	REINFORCED CONCRETE PIPE
—	FIRE HYDRANT

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VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A	
SEEDING RATES:	
PERMANENT:	
Soil Fescue	150 lbs./ac.
Smooth Bromes	120 lbs./ac.
Combined	150 lbs./ac. AND Bromes @ 50 lbs./ac.
TEMPORARY:	
Mix of Rye	150 lbs./ac. (3.5 lbs. per 1,000 s.f.)
Date	120 lbs./ac. (2.75 lbs. per 1,000 s.f.)
SEEDING PERIODS:	
Fescue or Bromes	March 1 to June 1
Wheat or Rye	August 1 to October 1
Wheat or Rye	March 15 to November 1
Date	March 15 to September 15
MULCH RATES:	
100 lbs. per 1,000 sq. ft.	(4,356 lbs. per ac.)
FERTILIZER RATES:	
Nitrogen	30 lbs./ac.
Phosphate	30 lbs./ac.
Potassium	30 lbs./ac.
Lime	600 lbs./ac. ENM*
* ENM = effective neutralizing material as per State evaluation of quarried rock.	



Planning and Zoning conditions:

On January 2, 2020, the Planning and Zoning Commission approved the Site Plan for 9233 Highway DD (Frontier Middle School) (19-01472).

The approval is conditional upon the following Staff recommendations being met:

1. A photometric lighting plan shall be required.
2. Additional landscaping details shall be provided, including the tree preservation calculations.
3. The trail along Highway DD shall be extended to the property line, and an offsite grading easement shall be provided for a future connection if needed.

Please Note:

- The Site Plan Approval shall expire, and be of no effect, one (1) year after the date of issuance thereof, unless within such time Construction Plans or Building Permits for any proposed work authorized under the said site plan approval has been issued.
- Prior to approval of a Building Permit, a Construction Site Plan must be reviewed and approved by City Staff. The application is available on the City's website via [www.ofallon.mo.us/City Departments, Public Works/Engineering](http://www.ofallon.mo.us/City%20Departments/Public%20Works/Engineering) through the City of Fallon Permits, Licensing, and Enforcement (CPLE) system.
- The appropriate Fire District will need to review and approve the development.
- Any signage to be placed on the subject property requires a separate Sign Permit.
- Any business occupying the site requires approval of a Business License.
- All Conditions of Approval shall be noted on the Construction Site Plans.

GRADING QUANTITY
20,981 cu.yds. cut
19,322 cu.yds. fill
(INCLUDES 8% SHRINKAGE AND BUILDING OVERDIG)

THE ABOVE YARDAGE IS AN APPROXIMATION ONLY, NOT FOR BIDDING PURPOSES. CONTRACTORS SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

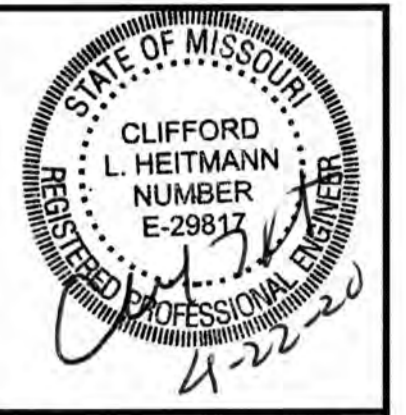
IT IS THE INTENTION OF THE ENGINEERING FOR THE EARTHWORK TO BALANCE ON-SITE. THE ENGINEER SHALL BE NOTIFIED IF ANY DIFFICULTIES ARISE IN ACHIEVING THE BALANCE. CONTRACTOR SHALL REDUCE CUT IN FIELD AREA AS NEEDED FOR BALANCED SITE.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: _____ DATE: _____
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

Development Notes:

1. THIS PROPERTY IS A PART OF THE PROPERTY REFERENCED AS PARCEL ID. NUMBER 4-9046-5016-0004-500000 OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE.
2. AREA OF TRACT: 25.359 ACRES TOTAL
3. EXISTING ZONING: R-1 SINGLE FAMILY RESIDENCE, CITY OF O'FALLON
4. SITE ADDRESS: 9233 HIGHWAY DD OFALLON, MO 63368
5. PROPOSED USE: MIDDLE SCHOOL ADDITION
OWNER: WENTZVILLE R-IV SCHOOL DISTRICT
280 INTERSTATE DRIVE
WENTZVILLE, MO 63385
6. SITE UTILITIES:
SANITARY - DUCKETT CREEK SANITARY DISTRICT 636-441-1244
GAS - SPIRE 314-522-2297
ELECTRIC - CUMBER RIVER 636-899-4741
TELEPHONE - CENTURIONUM 636-332-7261
CABLE - SPECTRUM 888-438-2427
WATER - PUBLIC WATER DISTRICT#2 636-591-3737
7. BUILDING SETBACKS:
FRONT YARD = 25 FEET
SIDE YARD = 8 FEET
REAR YARD = 25 FEET
8. PARKING REQUIREMENTS:
MIDDLE SCHOOLS
TWO (2) SPACES PER CLASSROOM OR ONE (1) SPACE PER FIVE (5) SEATS OR EIGHT (8) FEET OF BENCH LENGTH IN AUDITORIUM, WHICHEVER IS GREATER, PLUS ONE (1) SPACE PER TWO (2) FACULTY AND STAFF
EXISTING CONDITIONS:
2 SPACES PER CLASSROOM - 59 CLASSROOMS X 2 = 118 SPACES
1 SPACE PER 2 FACULTY/STAFF - 100 MEMBERS = 50 SPACES
GYM/AUDITORIUM - 1 SPACE PER 5 SEATS (474 SEATS) = 95 SPACES REQUIRED
EXISTING PARKING PROVIDED = 168 REQUIRED (118 SPACES FROM CLASSROOMS (GREATER THAN COM TOTAL) PLUS 50 SPACES FOR STAFF MEMBERS (MINIMUM))
EXISTING ON-SITE TOTAL PARKING = 280 SPACES INCLUDING 17 ADA SPACES.
PROPOSED:
2 SPACES PER CLASSROOM - 16 CLASSROOMS X 2 = 32 SPACES
1 SPACE PER 2 FACULTY/STAFF - 17 MEMBERS = 8.5 - 9 SPACES
TOTAL EXISTING PARKING PROVIDED = 280 SPACES INCLUDING 17 ADA SPACES
NO ADDITIONAL PARKING REQUIRED ON THIS SITE.
9. LANDSCAPING REQUIREMENTS:
EXISTING TREES TO BE AFFECTED BY NEW CONSTRUCTION AND WILL BE REPLACED.
PRIOR PHASES 1 THRU 3 OF THE BUILDING CONSTRUCTION PROVIDED LANDSCAPING ALONG HIGHWAY DD AND ALL SURROUNDING PROPERTIES AS REQUIRED.
10. TREE PRESERVATION CALCULATIONS:
TOTAL EXISTING TREES ON-SITE - 1.35 ACRES
1.35 - 2.0% TO BE PRESERVED = 1.08 ACRES PRESERVED, 0.27 ACRES ALLOWED TO BE REMOVED
TOTAL TREES BEING REMOVED - 0.37 ACRES, 0.10 ACRES TO BE REPLACED
0.10 ACRES X 15 TREES PER ACRE = 2 TREES TO BE PROVIDED
11. BUFFER YARD REQUIREMENTS:
25 FT. LANDSCAPED BUFFER STRIP WITH ONE TREE PER FIFTY FEET OF STREET FRONTAGE. NO ADDITIONAL PLANTINGS ARE REQUIRED OTHER THAN NOTED ABOVE THAT WILL BE PLACED AROUND THE NEW BUS PARKING LOT WHERE SHOWN. FOXWOOD DRIVE ALREADY HAS TREE MASSES ALONG THE ROADSIDE AS BUFFERYARD TO THE SCHOOL SITE.
12. SITE COVERAGE CALCULATIONS:
EXISTING:
TOTAL SITE: 25.359 ACRES = 1,104,638 SQ.FT.
EXIST BUILDINGS: 142,442 SQ.FT. (12.89%)
EXIST GREENSPACE: 725,168 SQ.FT. (65.64%)
EXIST PAVEMENT: 237,068 SQ.FT. (21.47%)
PROPOSED:
TOTAL BUILDINGS: 20,379 SQ.FT. (1.84%)
PAVEMENT: 8,228 SQ.FT. (0.74%)
TOTAL BUILDINGS: 162,821 SQ.FT. (14.74%)
LANDSCAPING: 698,520 SQ.FT. (63.05%)
PAVEMENT: 245,297 SQ.FT. (22.21%)
13. BASIS OF BEARING:
SURVEY ADOPED FROM THE RECORD PLAT OF "MELDON SPRINGS GARDENS" AS RECORDED IN PLAT BOOK 4 PAGE 179 OF THE ST. CHARLES COUNTY RECORDS.
14. FLOOD NOTE:
TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C0410, WITH AN EFFECTIVE DATE OF JANUARY 20, 2018.
COMMUNITY: CITY OF O'FALLON
NUMBER: 290316
DATE: 0410
SUFFIX: G
BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."
THIS FLOOD ZONE DETERMINATION AND THE FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE MADE USING FEMA INFORMATION WHICH WAS AVAILABLE ON THE DATE THIS SURVEY WAS SIGNED AND SEALED.
15. SITE BENCHMARK: ELEVATION 583.97
OLD CROSS ON CURB 42' NORTH OF AND 235' EAST OF THE NORTHWEST PROPERTY CORNER OF SUBJECT PROPERTY. AT THE NORTHEAST CORNER OF THE INTERSECTION OF FOX WOOD DRIVE AND FOX VALLEY DRIVE.
16. MISSOURI STATE HIGHWAY DD ESTABLISHED USING PLANS OBTAINED FROM MISSOURI DEPARTMENT OF TRANSPORTATION PROJECT NO. A-FAS-155-(A).
17. ALL NEW LIGHTING SHALL BE DOWNCAST LIGHTS CONSISTENT WITH CITY OF O'FALLON STANDARDS AND SPECIFICATIONS.
18. PER STATE STATUTES A SCHOOL DISTRICT IS ONLY OBLIGATED TO MEET LIFE SAFETY REGULATIONS, NOT LOCAL AESTHETIC ZONING REQUIREMENTS.
19. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
20. ALL NEW UTILITIES ARE TO BE LOCATED UNDERGROUND.
21. ANY OFFSITE GRADING OR UTILITY CONSTRUCTION WILL REQUIRE AN EASEMENT BEFORE CONSTRUCTION.
22. ALL SITE CONSTRUCTION SHALL COMPLY WITH CITY OF O'FALLON STANDARDS. ALL CONSTRUCTION WITHIN STATE RIGHT OF WAY SHALL COMPLY WITH MODOT STANDARDS.
23. ALL NEW EASEMENTS FOR THIS FACILITY SHALL REQUIRE SEPARATE PERMIT APPROVAL.
24. ALL NEW SIGNAGE WILL BE PROVIDED TO ALLOW FOR FUTURE EXTENSIONS OF THE MULTI-PURPOSE TRAIL BY ADJACENT LAND OWNERS.
25. PRIOR TO CONSTRUCTION PLAN APPROVAL, A PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL FOR ALL PROPOSED EXTERIOR LIGHTING.
26. PROPOSED RETAINING WALL WILL REQUIRE SEPARATE PERMIT. CONTRACTOR WHO IS AWARDED THE PROJECT SHALL SUBMIT WALL PLANS AND CALCULATIONS PER CITY CODES SIGNED AND SEALED BY MISSOURI REGISTERED PROFESSIONAL ENGINEER.
27. WATER DISTRICT WILL REQUIRE THAT ALL THE RELOCATED FACILITIES BE TESTED PER THE DISTRICT REQUIREMENTS BEFORE THEY ARE PUT BACK INTO SERVICE.
28. THE WATER DISTRICT REQUIRES ONE WEEK NOTICE BEFORE START OF CONSTRUCTION AND 48 HOURS NOTICE BEFORE THE TESTING IS PERFORMED.
29. THE INSPECTOR FOR THIS PROJECT WILL BE TERRY KOLAN AND HE CAN BE REACHED AT 314-575-2397.

CALL BEFORE
YOU DIG!
1-800-DIG-RITE



Clifford L. Heitmann
LICENSE #22087
ENGINEERING CORP.
NO. 000685

WENTZVILLE, MISSOURI
PSI, INC.
GEOTECHNICAL

STRUCTURAL
MECH/ELEC/PLUMB
CIVIL/SURVEY

CONSULTING ENGINEERS:
ASOG, LLC
McCLELLAN ENGINEERING
BAX ENGINEERING

WENTZVILLE R-IV SCHOOL DISTRICT
HOENER ASSOCIATES, INC. - ARCHITECTS
6707 PLAINVIEW AVENUE
ST. LOUIS, MISSOURI 63109
Ph. (314) 781-9855
Fax (314) 781-0163

ALL DIMENSIONS MUST BE VERIFIED AT BUILDING BEFORE WORK IS EXECUTED. THIS DRAWING IS THE PROPERTY OF THE ARCHITECTS AND SHALL NOT BE COPIED OR DUPLICATED WITHOUT THEIR CONSENT.

proj. no. 19-06C
date issued
01/31/20

date revised
02/18/20 CITY REVIEW
04/01/20 CITY/DCSD REVIEW

drawn by BWF
checked by JCM
sheet no.

C1.0