

FRONTIER PLAZA

A tract of land being part of the Southeast 1/4 of Fractional Section 32, Township 47 North, Range 3 East, St. Charles County, Missouri; said tract being more particularly described as follows:

COMMENCING at the Southwest Corner of the Southeast 1/4 of the Southeast 1/4 of Fractional Section 32; THENCE North 00°20'41" East 40.00 feet to a point on the North right-of-way line of Peise Road; THENCE along said North line South 89°27'46" East 555.30 feet to a point at the Southeast Corner of Lot 524 of "Pebble Brook Plat 5-B" a subdivision on file in Plat Book 22, Page 99 of the St. Charles County Recorder's office; THENCE North 00°30'06" East along the East line of said "Pebble Brook Plat 5-B" a distance of 242.94 feet to a point; THENCE North 89°59'37" East 472.65 feet to the POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED; THENCE North 00°03'48" West 349.81 feet to a point on the South line of "Pebble Brook Plat 6" a subdivision on file in Plat Book 22, Page 126 of the St. Charles County Recorder's office; THENCE along the South line of said "Pebble Brook Plat 6" North 89°55'38" East 250.00 feet to an old iron pipe on the West line of Highway "K" being 64.43 feet perpendicular distance West of Highway Station 67+41.52; THENCE along said West right-of-way line South 00°57'32" West 58.47 feet to a point being 65.00 feet perpendicular distance West of Highway center line Station 68+00; THENCE South 00°21'51" West, 50.00 feet to an iron pipe being 65.00 feet perpendicular distance West of Highway Station 68+50.00; THENCE South 89°38'09" East, 5.00 feet to a point being 60.00 feet perpendicular distance West of Highway Station 68+50.00 feet; THENCE continuing along said West line South 00°21'51" West 241.52 feet to an iron pipe; THENCE South 89°58'15" West 251.78 feet to the Point of Beginning, said tract containing 2.0209 acres.

Subject to easements, rights-of-way, possessory rights, prescriptive rights, covenants, conditions and restrictions and zoning ordinances.

Note: In Addition To The Easements Shown A 15' Wide Easement Exists To Continental Telephone Co. The Centerline of Which Is The Power Poles (911-1325)

GENERAL NOTES

- Present Zoning: C-3, Highway Commercial
- Total Area: 2.02 Acres
- Building Use: Retail Office
- This tract is in or served by:
 - A. Electric - Union Electric
 - B. Fire District - O'Fallon Fire District
 - C. Gas - St. Charles Gas Company
 - D. Sewer - O'Fallon Sewer
 - E. Telephone - Continental Telephone
 - F. Water - City of O'Fallon Water
 - G. R-2 Port Zumwalt School District

Setback and Yard Requirements:

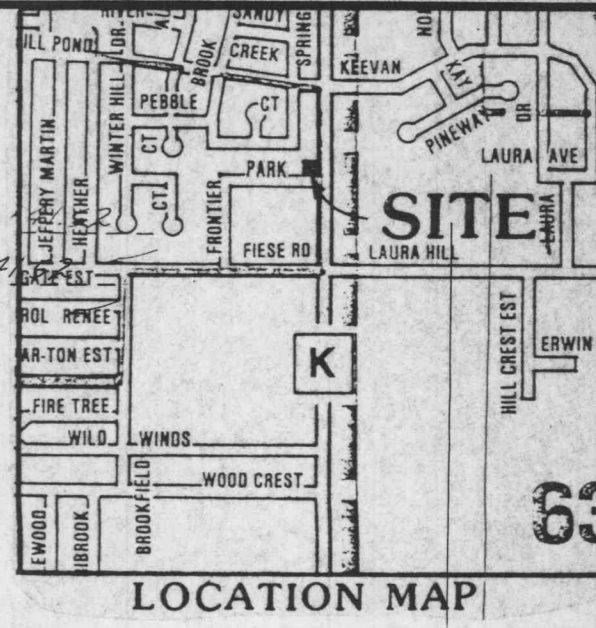
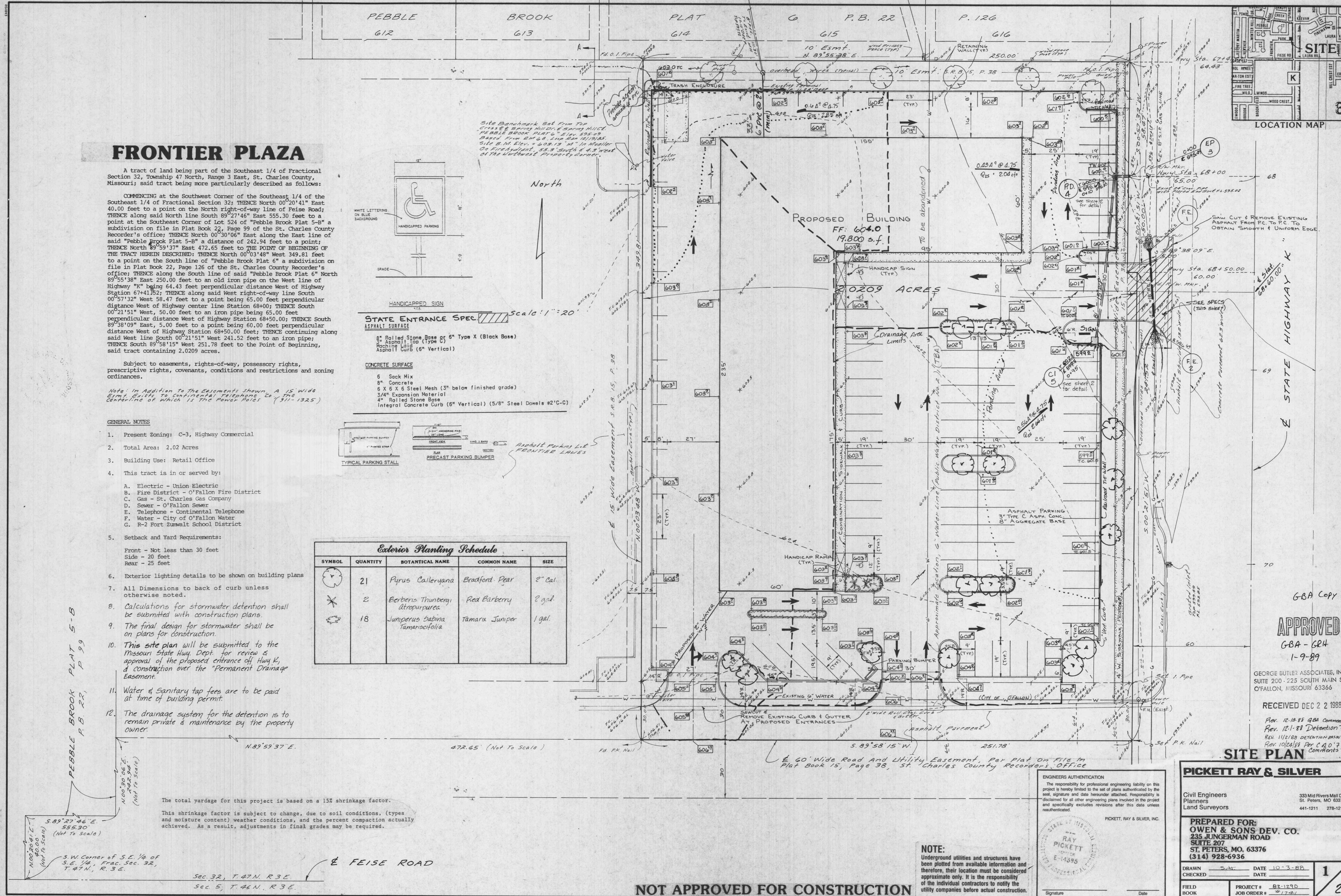
- Front - Not less than 30 feet
Side - 20 feet
Rear - 25 feet
- Exterior lighting details to be shown on building plans
- All Dimensions to back of curb unless otherwise noted.
- Calculations for stormwater detention shall be submitted with construction plans.
- The final design for stormwater shall be on plans for construction.
- This site plan will be submitted to the Missouri State Hwy Dept. for review & approval of the proposed entrance off Hwy K, & construction over the "Permanent Drainage Easement."
- Water & Sanitary tap fees are to be paid at time of building permit.
- The drainage system for the detention is to remain private & maintenance by the property owner.

STATE ENTRANCE SPEC

- ASPHALT SURFACE
- 8" Rolled Stone Base (6" Type X (Black Base))
 - Asphalt Top (Type C)
 - Machine Laid Asphalt CURB (6" Vertical)
- CONCRETE SURFACE
- 6" Sack Mix
 - 9" Concrete
 - 6" X 6" X 6" Steel Mesh (3" below finished grade)
 - 3/4" Expansion Material
 - 4" Rolled Stone Base
 - Integral Concrete Curb (6" Vertical) (5/8" Steel Dowels @2'C-C)

| Exterior Planting Schedule | | | | |
|----------------------------|----------|------------------------------------|-----------------|---------|
| SYMBOL | QUANTITY | BOTANICAL NAME | COMMON NAME | SIZE |
| | 21 | Pyrus Calleryana | Bradford Pear | 2" Cal. |
| | 2 | Berberis Thunbergi Atropurpurea | Red Barberry | 2 gal. |
| | 18 | Juniperus Sabina Tamariscifolia | Tamarix Juniper | 1 gal. |

The total yardage for this project is based on a 15% shrinkage factor. This shrinkage factor is subject to change, due to soil conditions, (types and moisture content) weather conditions and the percent compaction actually achieved. As a result, adjustments in final grades may be required.



PEBBLE BROOK PLAT 5-B
P.B. 22, P. 99

APPROVED
G-B-A - GR4
1-9-89

GEORGE BUTLER ASSOCIATES, INC.
SUITE 200 - 225 SOUTH MAIN ST.
O'FALLON, MISSOURI 63366

RECEIVED DEC 2 2 1988
Rev. 12-18-88 GBA Comments
Rev. 12-1-88 Detention Basin
Rev. 10/24/88 Per C 40.7
Comments

SITE PLAN

PICKETT RAY & SILVER

Civil Engineers
Planners
Land Surveyors

330 Mid Rivers Mall Dr.
St. Peters, MO 63376
441-1211 278-1211

PREPARED FOR:
OWEN & SONS DEV. CO.
235 JUNGERMAN ROAD
SUITE 207
ST. PETERS, MO. 63376
(314) 928-6936

DRAWN BY: [Signature] DATE: 10-3-88
CHECKED BY: [Signature] DATE: []
FIELD BOOK: [] PROJECT # 82-1295
JOB ORDER # 279-1

ENGINEERS AUTHENTICATION

The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthenticated.

PICKETT, RAY & SILVER, INC.

STATE OF MISSOURI
RAY PICKETT
E-14395

Signature: [] Date: []

NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

NOT APPROVED FOR CONSTRUCTION