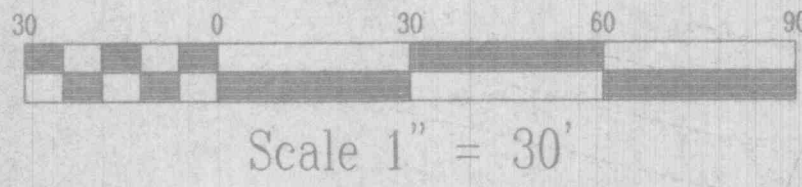
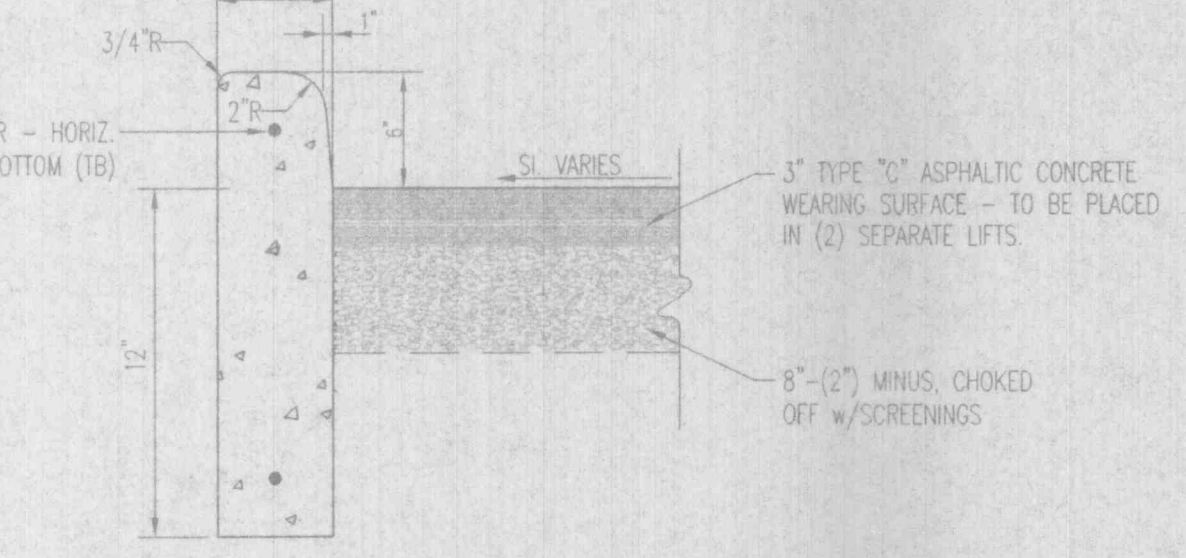
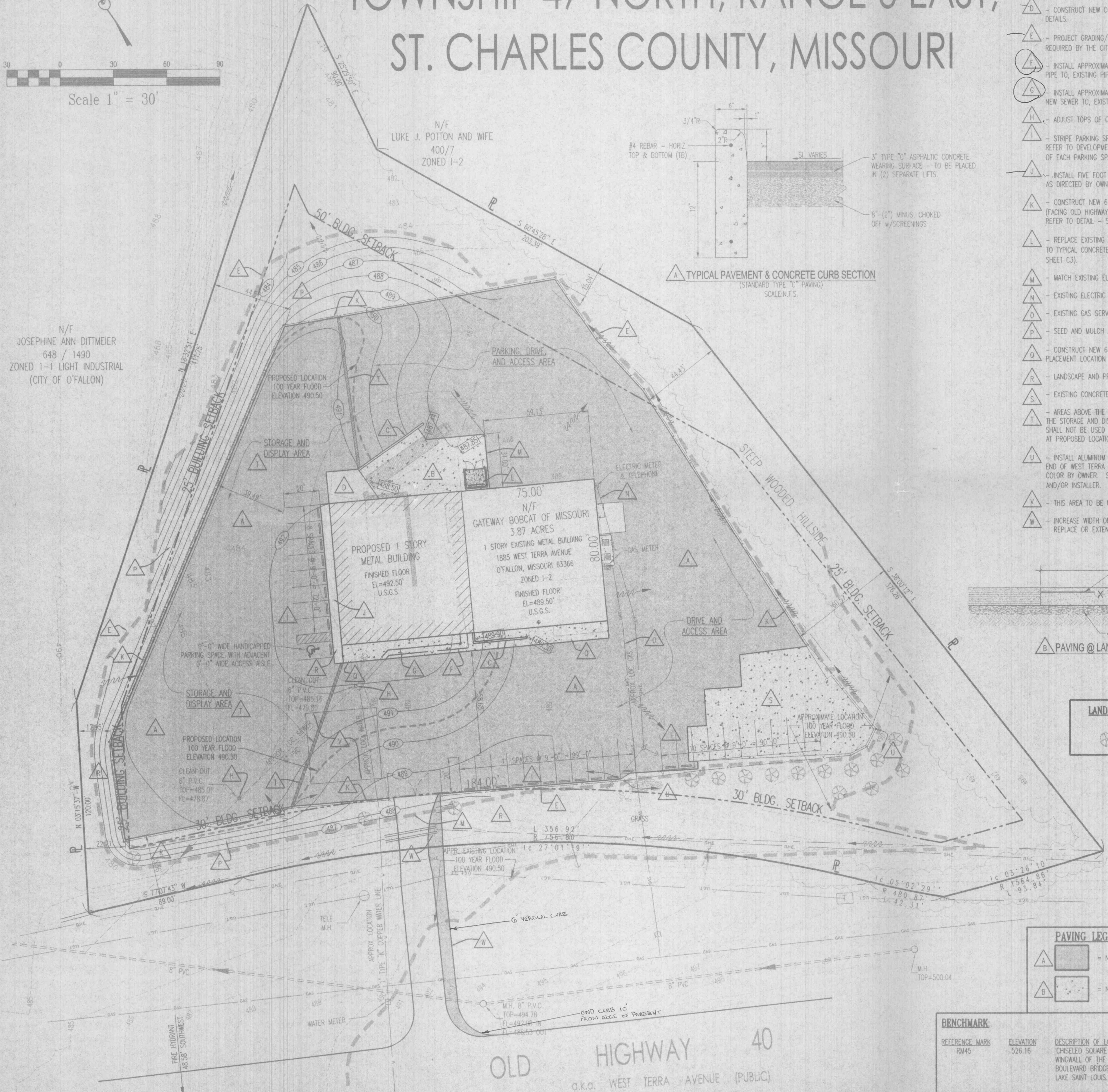


PART OF U.S. SURVEY 54, TOWNSHIP 47 NORTH, RANGE 6 EAST, ST. CHARLES COUNTY, MISSOURI



N/F
JOSEPHINE ANN DITTMER
648 / 1490
ZONED 1-1 LIGHT INDUSTRIAL
(CITY OF OFALLON)

N/F
LUKE J. POTTON AND WIFE
400/7
ZONED I-2



A TYPICAL PAVEMENT & CONCRETE CURB SECTION
(STANDARD TYPE 'C' PAVING)
SCALE: 1/8" = 1'-0"



B PAVING @ LANDING GEAR PAD & DUMPSTER PAD
SCALE: N.T.S.

LANDSCAPE LEGEND & TREE INVENTORY

QUANTITY	COMMON NAME	SIZE
15	BRADFORD PEAR	2" MIN. CALIPER

PAVING LEGEND:

	= NEW ASPHALT PAVEMENT.
	= NEW CONCRETE PAVEMENT.

BENCHMARK:

REFERENCE MARK	ELEVATION	DESCRIPTION OF LOCATION
BM45	526.16	CHISELED SQUARE ON THE SOUTHEAST CORNER OF THE LAKE ST. LOUIS BOULEVARD BRIDGE OVER THE SPILLWAY OF LAKE SAINT LOUIS.

- KEYED NOTES:**
- A - CONSTRUCT NEW ASPHALT PAVEMENT AND CONCRETE CURB (CURB ALONG ALL FENCE LINES TO BE BUILT w/18" WIDE NOTCHES AT 20' ON CENTER.) REFER TO TYPICAL DETAIL.
 - B - CONSTRUCT NEW 4000 PSI PORTLAND CEMENT CONCRETE PAVEMENT. REFER TO TYPICAL SECTION.
 - C - CONSTRUCT NEW CONCRETE RETAINING WALL, WITH A MAXIMUM HEIGHT OF 2'-6". REFER TO FOUNDATION PLAN FOR DIMENSIONS AND DETAILS.
 - D - CONSTRUCT NEW CONCRETE LOADING DOCK. REFER TO FOUNDATION PLAN FOR DIMENSIONS AND DETAILS.
 - E - PROJECT GRADING/CLEARING LIMITS. INSTALL EROSION CONTROL DEVICES AS NECESSARY AND AS REQUIRED BY THE CITY OF OFALLON, MISSOURI. REFER TO TYPICAL DETAIL.
 - F - INSTALL APPROXIMATELY 45 FEET OF NEW WATER LINE. MATCH SIZE AND TYPE OF, AND CONNECT NEW PIPE TO EXISTING PIPE. INSTALL THRUST BLOCKS AT ALL BENDS AND CORNERS.
 - G - INSTALL APPROXIMATELY 45 FEET OF NEW SANITARY SEWER. MATCH SIZE AND TYPE OF, AND CONNECT NEW SEWER TO EXISTING SEWER.
 - H - ADJUST TOPS OF CLEANOUTS TO GRADE AND INSTALL TRAFFIC-RATED CLEANOUT COVERS.
 - I - STRIPE PARKING SPACES AS SHOWN. INSTALL ACCESSIBLE PARKING SIGN AT HANDICAPPED SPACE(S). REFER TO DEVELOPMENT NOTES FOR PARKING SPACE CALCULATIONS. PLACE WHEEL STOPS AT THE HEAD OF EACH PARKING SPACE (REF. TO TYPICAL DETAIL).
 - J - INSTALL FIVE FOOT WIDE LANDSCAPING BARRIER ALONG WEST WALL OF NEW BUILDING, WITH PLANTINGS AS DIRECTED BY OWNER.
 - K - CONSTRUCT NEW 6 FEET HIGH CHAIN LINK FENCE. THE FENCE ALONG THE SOUTH PROPERTY LINE (FACING OLD HIGHWAY 40) IS TO BE BLACK VINYL COATED. ALL OTHER FENCE IS TO BE GALVANIZED. REFER TO DETAIL - SHEET C3.
 - L - REPLACE EXISTING DUMPSTER AT LOCATION SHOWN. CONSTRUCT NEW CONCRETE DUMPSTER PAD (REFER TO TYPICAL CONCRETE PAVING SECTION) AND CONSTRUCT SIX FOOT CMU ENCLOSURE (REFER TO DETAIL - SHEET C3).
 - M - MATCH EXISTING ELEVATION.
 - N - EXISTING ELECTRIC METER, ELECTRIC SERVICE, AND TELEPHONE SERVICE TO REMAIN.
 - O - EXISTING GAS SERVICE LINE TO REMAIN.
 - P - SEED AND MULCH ALL AREAS TO BE RE-GRADED.
 - Q - CONSTRUCT NEW 6" 4000 PSI PORTLAND CEMENT CONCRETE SLAB. REFER TO SHEET S1 FOR PLACEMENT LOCATION AND JOINT PATTERN.
 - R - LANDSCAPE AND PROVIDE DISPLAY LIGHTING AS DIRECTED BY THE OWNER.
 - S - EXISTING CONCRETE SLAB TO REMAIN, AND BE USED AS AN ADDITIONAL EMPLOYEE PARKING AREA.
 - T - AREAS ABOVE THE PROPOSED LOCATION OF THE 100 YEAR FLOOD PLAN ELEVATION TO BE USED FOR THE STORAGE AND DISPLAY OF VEHICLES BY THE OWNER. ALL AREAS ON THE SITE BELOW THIS ELEVATION SHALL NOT BE USED FOR DISPLAY OR LONG-TERM STORAGE. PAINT 12 INCH WIDE STRIPE ON PAVEMENT AT PROPOSED LOCATION OF 100 YEAR FLOOD TO DESIGNATE LIMIT OF STORAGE AND DISPLAY AREA.
 - U - INSTALL ALUMINUM OR VINYL SIGHTPROOFING IN 150 FEET OF NEW 6' TALL CHAIN LINK FENCE AT EAST END OF WEST TERRA FRONTAGE. USE POS BRAND PRIVACY & DECORATIVE SLATTING, OR SIMILAR, WITH COLOR BY OWNER. SIZE OF SLATTING TO BE COORDINATED WITH CHAIN LINK FENCE MANUFACTURER AND/OR INSTALLER.
 - V - THIS AREA TO BE USED AS A TEMPORARY TRUCK WASH-OFF AREA DURING CONSTRUCTION.
 - W - INCREASE WIDTH OF ENTRANCE AND DRIVE TO 25 FEET AS SHOWN, MATCHING EXISTING PAVEMENT. REPLACE OR EXTEND EXISTING CULVERT, AND MODIFY EXISTING GATE AS REQUIRED.

- GENERAL NOTES:**
- 1) UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.
 - 2) ALL FILLED PLACES, INCLUDING TRENCH BACK FILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES AND / OR PAVED AREAS, SHALL BE COMPACTED TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED MASHTO 1-180 COMPACTION TEST," (A.S.T.M.-D-1557).
 - 3) ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILLS, AND SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED MASHTO 1-180 COMPACTION TEST," (A.S.T.M.-D-1557). ALL OTHER TRENCH BACKFILLS MAY BE EARTH MATERIALS (FREE OF LARGE CLODS OR STONES). ALL TRENCH BACKFILLS SHALL BE WATER JETTED.
 - 4) NO AREA SHALL BE CLEARED WITHOUT THE PERMISSION OF THE PROJECT ENGINEER.
 - 5) ALL GRADES SHALL BE WITHIN 0.2 FEET OF THOSE SHOWN ON THE GRADING PLAN.
 - 6) NO SLOPE SHALL BE STEEPER THAN 3:1. ALL SLOPES SHALL BE SEEDED AND MULCHED.
 - 7) ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF OFALLON STANDARDS.
 - 8) PROPOSED BUILDING WILL COMPLY WITH CURRENT AMERICAN DISABILITY ACT REQUIREMENTS.
 - 9) SEE ARCHITECTURAL DRAWING FOR ALL BUILDING DIMENSIONS, SERVICE CONNECTIONS, DETAILS, ETC.
 - 10) ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED BY KEYED NOTES. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
 - 11) ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - 12) ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH CURRENT O.S.H.A. STANDARDS.
 - 13) ALL TWO WAY DRIVE AISLES SHALL BE A MINIMUM OF 25 FT. IN WIDTH.
 - 14) A PHOTOMETRIC LIGHTING PLAN SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY THE PLANNING DIVISION PRIOR TO A BUILDING PERMIT BEING ISSUED SHOULD NEW EXTERIOR LIGHTING BE PROPOSED.
 - 15) REFER TO DEVELOPMENT NOTE #11, LANDSCAPE LEGEND AND TREE INVENTORY, AND SITE PLAN FOR LANDSCAPING.
 - 16) THE USE OF RAISED PEDESTALS, TEMPORARY OR OTHERWISE, FOR THE DISPLAY OF VEHICLES, AND THE CANNABALIZATION OF JUNK VEHICLES, IS PROHIBITED AT THIS SITE BY THE CITY OF OFALLON.
 - 17) A NEW ELEVATION CERTIFICATE IS TO BE SUBMITTED TO THE CITY OF OFALLON UPON COMPLETION OF CONSTRUCTION.
 - 18) THE PROPOSED RE-GRADING TO RAISE THE STORAGE AREA ABOVE THE 100-YEAR FLOOD ELEVATION (AS INDICATED BY KEYED NOTE "T") IS TO BE COMPLETED BY MARCH 6, 2001.

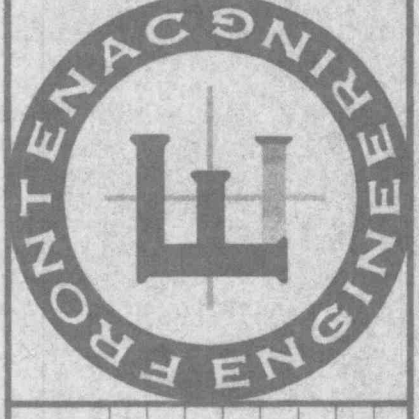
- DEVELOPMENT NOTES:**
- 1) AREA OF TRACT: 3.87 ACRES
 - 2) EXISTING ZONING: I-2 HEAVY INDUSTRIAL
 - 3) PROPOSED USE: CONSTRUCTION EQUIPMENT SALES, RENTAL, & SERVICE
 - 4) AREA OF EXISTING BUILDING: 6000 SQ. FT.
 - 5) AREA OF PROPOSED BUILDING: 6000 SQ. FT.
 - 6) THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:
MINIMUM FRONT YARD: 30 FEET
MINIMUM REAR YARD: 25 FEET
MINIMUM SIDE YARD: 50 FEET
 - 7) OWNER OF PROPERTY: GATEWAY BOBCAT OF MISSOURI
DAN ANICH
1885 WEST TERRA AVE.
OFALLON, MO. 63366
 - 8) SITE IS SERVED BY:
DUCKETT CREEK SEWER DISTRICT
AMEREN ELECTRIC COMPANY
ST. CHARLES GAS COMPANY
MISSOURI AMERICAN PUBLIC WATER DISTRICT #2
GTE TELEPHONE COMPANY
FORTH ZUMWALT SCHOOL DISTRICT
OFALLON FIRE PROTECTION DISTRICT
 - 9) FLOOD PLAN EXISTS ON THIS TRACT PER F.I.R.M. MAP NUMBER 29183 C 0220 E, DATED AUGUST 2, 1996.
 - 10) PARKING CALCULATIONS:
REQUIRED PARKING: 1 SPACE FOR EVERY 3000 SQ. FT. OF DISPLAY LOT + 1 / EMPLOYEE = 18000 SQ. FT. / 3000 SQ. FT. + 15 EMPLOYEES = 21 PARKING SPACES REQUIRED.
PARKING SPACES PROVIDED = 30 (INCLUDING 1 HANDICAP)
 - 11) COVERAGE CALCULATIONS:
EXISTING BUILDING = 6,000 SQ. FT.
PROPOSED BUILDING = 6,000 SQ. FT.
PAVEMENT = 70,831 SQ. FT.
GREENSPACE = 85,746 SQ. FT. (51%)
 - 12) MINIMUM TREE REQUIREMENTS PER ZONING ORDINANCE:
STREET TREES REQUIRED = 582.07' FRONTAGE / 1 TREE PER 40 LF. = 15 TREES
TREES PROPOSED = 15 TREES (SEE LANDSCAPE LEGEND & TREE INVENTORY)

LEGEND

EXISTING	NEW	LEGEND	ABBREVIATIONS:
			A.I. = AREA INLET
			A.T.G. = ADJUST TO GRADE
			ASPH. = ASPHALT
			B.LDG. = BUILDING
			C.I. = CURB INLET
			C.O. = CLEANOUT
			CONC. = CONCRETE
			D.G.I. = DOUBLE GRATE INLET
			DIA. = DIAMETER
			D.I.P. = DUCTILE IRON PIPE
			EL. = ELEVATION
			E.O.P. = EDGE OF PAVEMENT
			ESMT. = EASEMENT
			EXIST. = EXISTING
			F.D. = FLOOR DRAIN
			FIN. = FINISH
			FLR. = FLOOR
			G.I. = GRATE INLET
			INT. = INTEGRAL
			M.H. = MANHOLE
			O.H.E. = OVERHEAD ELECTRIC
			P.V.C. = POLYVINYL CHLORIDE PIPE
			P.W.M.T. = PAVEMENT
			REQ'D. = REQUIRED
			R.C.P. = REINFORCED CONCRETE PIPE
			R.O.W. = RIGHT OF WAY
			T.B.R. = TO BE REMOVED
			T.R. & R. = TO BE REMOVED & REPLACED
			T.R.R.A. = TERMINAL RAILROAD ASSOCIATION
			U.G.E. = UNDERGROUND ELECTRIC
			U.G.T. = UNDERGROUND TELEPHONE
			V.C.P. = VITRIFIED CLAY PIPE
			W. = WIDE



CIVIL/STRUCTURAL/LAND SURVEYING
#16 SUNNEN DRIVE, SUITE 105
ST. LOUIS, MISSOURI 63143
(314) 644-2200 FAX (314) 644-0645
EMAIL: MAIL@FRONTENACENGINEERING.COM



ISSUES / REVISIONS

NO.	DATE	REMARKS
1	5/26/00	REV. PER CITY OF OFALLON
2	6/20/00	REV. PER CITY OF OFALLON
3	8/9/00	REV. PER CITY OF OFALLON
4	8/22/00	REV. PER CITY OF OFALLON

New Office & Warehouse Addition for:
Gateway Bobcat of O'fallon
1885 West Terra Avenue, O'fallon, MO 63366

JOB NO. 98125C2
DRAWN BY: M.L.A.
CHECKED BY: W.K.B.
DATE: 5/12/00
SHEET NO. C2

SITE IMPROVEMENT PLAN