

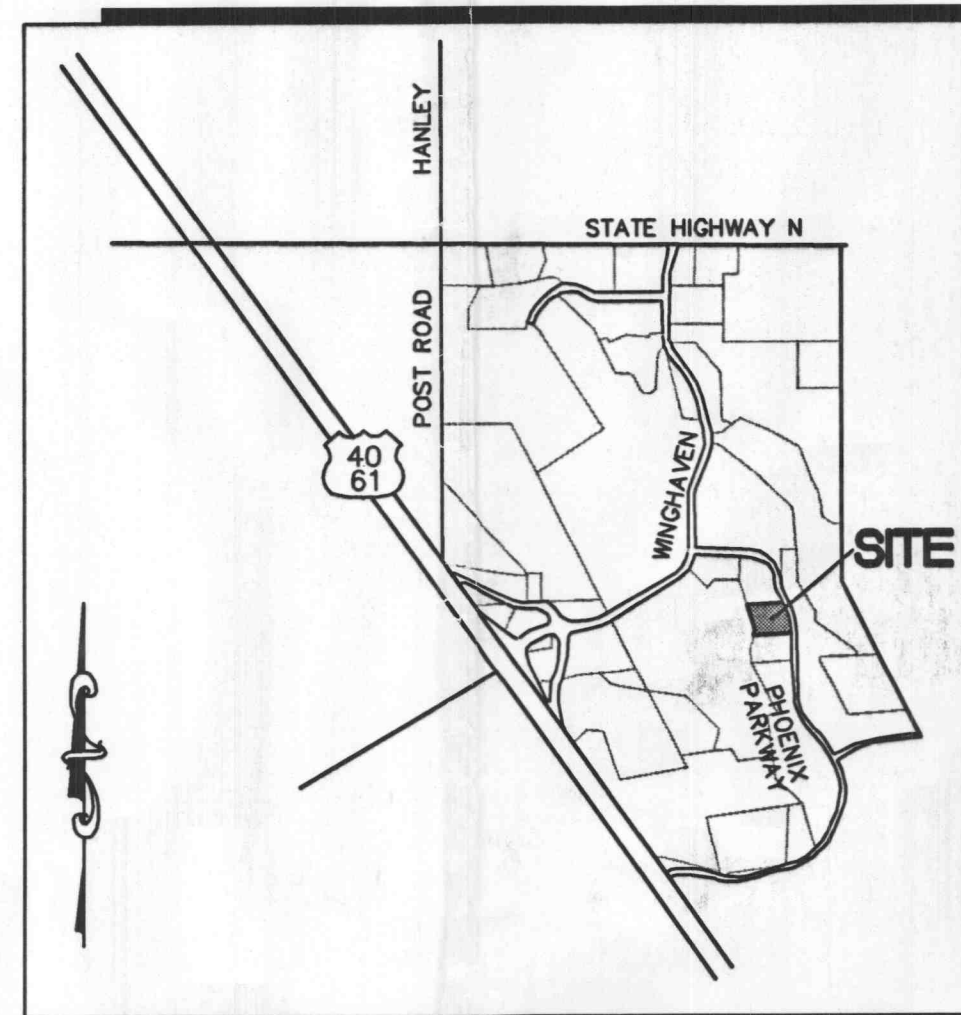
# GODDARD SCHOOL - WINGHAVEN

PART OF LOT 6 (FORMERLY AREA B)  
RECORDED IN P.B. 40, PG. 23-24  
ST. CHARLES COUNTY, MISSOURI

## IMPROVEMENT PLANS

### LEGEND

EXISTING CONTOURS	---
PROPOSED CONTOURS	---
EXISTING SANITARY SEWERS	== ○ ==
EXISTING STORM SEWERS	== □ ==
PROPOSED SANITARY SEWERS	--- ● ---
PROPOSED STORM SEWERS	--- ■ ---
EXISTING RIGHT-OF-WAY	---
PROPOSED RIGHT-OF-WAY	---
CENTERLINE	---
EASEMENT	---
NON-REINFORCED CONCRETE PAVEMENT	[Pattern]
EXISTING SPOT ELEVATION	+ Ex. 120.15
PROPOSED SPOT ELEVATION	+ 120.10
SWALE	---
TO BE REMOVED	T.B.R.
TO BE REMOVED & RELOCATED	T.B.R. & R.
TO BE USED IN PLACE	U.I.P.
BACK OF CURB	B.C.
FACE OF CURB	F.C.
TRASH ENCLOSURE	[X]
LIGHT STANDARD	[Star]
GAS MAIN	G
WATER MAIN	W
WATER METER	W [Square] W
UNDERGROUND TELEPHONE	T
ELECTRIC TRANSFORMER	[Square]
UNDERGROUND ELECTRIC	E
FIRE HYDRANT	[Star]
POWER POLE	[Star]
SILTATION CONTROL	X
PROPOSED	PR
GRADE AT TOP OF WALL	tw
GRADE AT BOTTOM OF WALL	bw



LOCATION MAP  
NOT TO SCALE

### PERTINENT DATA:

SITE ADDRESS	=	9008 PHOENIX PARKWAY
SITE ACREAGE	=	1.45 Acres
OWNER	=	TRISTAR Wing, L.L.C. 13397 LAKEFRONT DRIVE ST. LOUIS MISSOURI 63045 PHONE: (314) 291-9999 FAX: (314) 291-9191
EXISTING ZONING	=	PUD (ORIGINAL ZONING: HTCD)
FIRE DISTRICT	=	WENTZVILLE FIRE PROTECTION DISTRICT
SEWER DISTRICT	=	DUCKETT CREEK
WATER SERVICE	=	PUBLIC WATER SUPPLY DISTRICT #2
GAS SERVICE	=	ST. CHARLES GAS CO.
ELECTRIC SERVICE	=	AMEREN U.E.
PHONE SERVICE	=	CENTURYTEL TELEPHONE
ZIP CODE	=	63366

### FLOOD NOTE:

Subject property lies within Flood Zone "X" (areas outside the 500-year floodplain) per the National Flood Insurance Program Flood Insurance Rate Map for St. Charles County, Missouri, and Incorporated Areas. The map is identified as Map No. 29183C0240 E with an effective date of August 2, 1996.

### BENCHMARK

SC-13 ELEV=499.34 VERTICAL DATUM = NGVD 1929  
LOCATED 2.70 MILES N/W OF THE INTERSECTION OF  
HIGHWAY 94 AND HIGHWAY D ON THE NORTH SIDE  
OF WESTBOUND LANES OF HIGHWAY 40 NEAR A FIELD  
ENTRANCE GOING NORTH FOR THE WESTBOUND LANES  
OF HIGHWAY 40. IT IS 29.55 FEET NE OF A P.K. NAIL IN  
THE CENTER LINE OF WESTBOUND HWY 40, 39.2 FEET



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1-800-344-7483

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

### INDEX

C1	TITLE SHEET
C2	SPECIFICATIONS SHEET
C3	EXISTING CONDITIONS PLAN
C4	SITE & GRADING PLAN
C5	SITE GEOMETRICS & ENTRANCE WARPING PLAN
C6	ENTRANCE WARPING & PAVEMENT DETAILS
C7	SEWER PROFILES, DETAILS & HYDRAULIC DATA
C8	EROSION & SEDIMENT CONTROL
C9	DRAINAGE AREA PLAN
	LANDSCAPE PLAN

### LEGAL DESCRIPTION

A tract of land being part of Lot 6 of "Phoenix Village", a subdivision in U.S. Survey 1669, Township 45 North, Range 2 East of the Fifth Principal Meridian, City of O'Fallon, St. Charles County, Missouri according to the plat thereof recorded in Plat Book 40 Page 23-24 of the records of the Recorder of Deed's Office in St. Charles County, and being more particularly described as follows:

Commencing at the Northeastern corner of Lot 1 of "Spy Glass Hill at Winghaven", a subdivision according to the plat thereof recorded in Plat Book 38 Page 210-211 of the above said records, being a point on the Western line of Phoenix Parkway, variable width; thence along the Northern line of the above said Lot 1 South 87 degrees 17 minutes 16 seconds West 20.03 feet to a point on the Western line of Phoenix Parkway, variable width; thence along last said Western line the following courses and distances: North 00 degrees 14 minutes 58 seconds East 394.42 feet to a point of curvature, Northwestwardly along a curve to the left whose radius point bears North 89 degrees 45 minutes 02 seconds West 750.00 feet an arc length of 56.52 feet to the centerline of Phoenix Village Parkway, variable width, and the true POINT OF BEGINNING of the tract of land herein described; thence leaving the Western line of Phoenix Parkway, and along the centerline of Phoenix Village Parkway the following courses and distances: South 85 degrees 55 minutes 53 seconds West 91.58 feet to a point of curvature, Northwestwardly along a curve to the right whose radius point bears North 04 degrees 04 minutes 07 seconds West 450.00 feet an arc length of 165.23 feet to a point of reverse curvature, Northwestwardly along a curve to the left whose radius point bears South 16 degrees 58 minutes 12 seconds West 200.00 feet an arc length of 36.85 feet to the point of tangency, North 83 degrees 35 minutes 09 seconds West 57.91 feet; thence leaving last said centerline North 06 degrees 24 minutes 51 seconds East 186.50 feet; thence South 83 degrees 35 minutes 09 seconds East 210.83 feet; thence North 73 degrees 12 minutes 20 seconds East 75.45 feet to a point of a curve on the Western line of Phoenix Parkway, variable width; thence along last said Western line Southeastwardly along a curve to the right whose radius point bears South 69 degrees 29 minutes 52 seconds West 750.00 feet an arc length of 215.12 feet to the centerline of Phoenix Village Parkway and the POINT OF BEGINNING containing 63,270 square feet or 1.452 acres more or less according to calculations performed by Stock and Associates Consulting Engineers, Inc. on August 28, 2003.

1-20-04  
APPROVED

DSW  
1-15-04  
Prior comment  
has been addressed.

- ▲ 01/14/03 PER CITY COMMENTS OF 01/12/04 (SHEET C6 ONLY)
- ▲ 01/07/03 PER CITY COMMENTS OF 12/29/03
- ▲ 12/15/03 PER CITY COMMENTS OF 12/04/03
- ▲ 11/17/03 PER CITY COMMENTS OF 11/04/03 & AGENCY COMMENTS

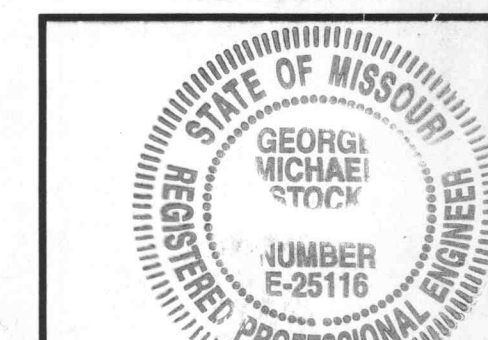
GODDARD SCHOOL - WINGHAVEN

TITLE SHEET

STOCK & ASSOCIATES  
CONSULTING ENGINEERS, INC.

425 NORTH NEW BALLAS ROAD  
SUITE 165  
ST. LOUIS, MO. 63141  
PH. (314) 432-8100  
FAX (314) 432-8171  
e-mail: general@stockassoc.com

P&Z 9831.43.01



GEORGE M. STOCK E-25116

DATE: 10/10/03	CHECKED BY: G.M.S.	DATE: 10/10/03	JOB NUMBER: 203-3120	SHEET: C1 of 9
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PREPARED FOR:  
BROWNSTONE PROPERTIES - WINGHAVEN, L.L.C.  
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File