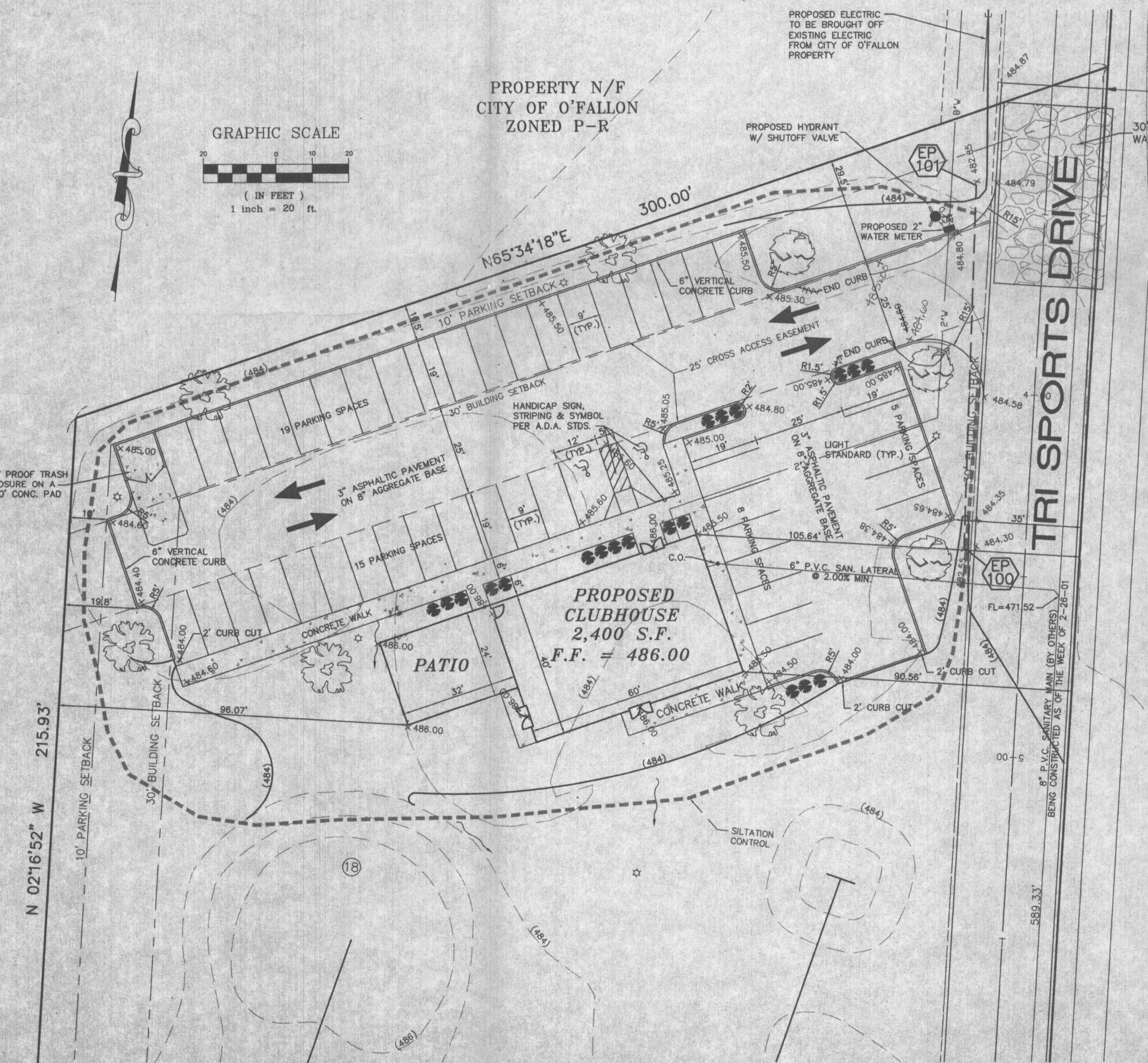
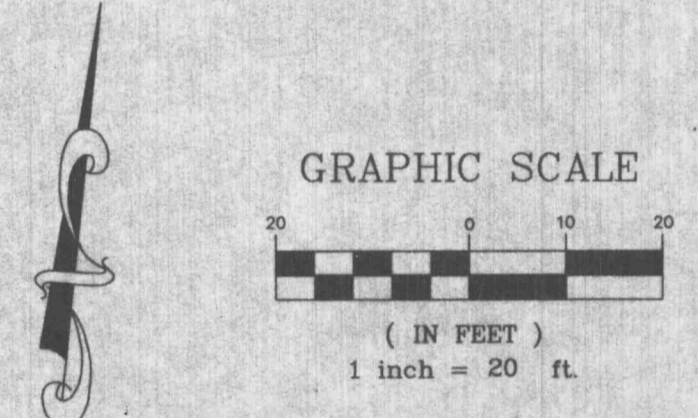
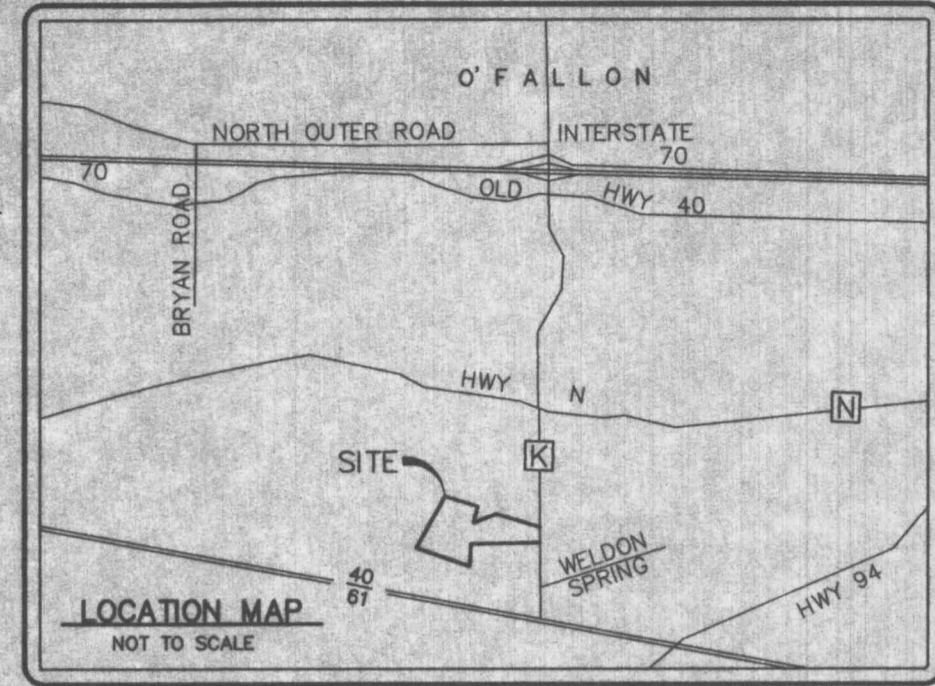


A SET OF CONSTRUCTION PLANS FOR GOLF HEADQUARTERS CLUBHOUSE

A TRACT OF LAND BEING PART OF LOT 5 OF
"THE JAMES CAMPBELL FARM" IN U.S. SURVEY 3225,
TOWNSHIP 46 NORTH, RANGE 3 EAST
OF THE FIFTH PRINCIPAL MERIDIAN,
ST. CHARLES COUNTY, MISSOURI



LANDSCAPE LEGEND

- FIVE (5) RED MAPLE
2" MINIMUM CALIPER
- THREE (3) PIN OAK
2" MINIMUM CALIPER
- TWENTY (20) JUNIPER SHRUBS
18" MINIMUM DIAMETER

DEVELOPMENT NOTES

1. Area of Tract: 49.44 Acres
2. Existing Zoning: P-R "PARK-RECREATION DISTRICT" (City of O'Fallon)
3. Proposed Use: Golf Course Clubhouse
4. Current Owner: Futura R.E. Investments
3465 State Highway "K"
O'Fallon, MO 63366
(636) 862-0677
5. Parking Calculations:
20 Spaces Plus 1 per 100 s.f.
2,000 s.f. / 100 = 20 Spaces
Spaces Required = 40 Spaces
Spaces Proposed = 47 Spaces (Including 2 Handicap)
6. Site is served by:
Duckett Creek Sanitary District
Union Electric Company
Laclede Gas Company
Water District Number 2
GTE Telephone Company
Francis Howell School District
Cottleville Fire Protection District
7. Base flood elevation of zone AE per F.I.R.M. map 29183C0430E, dated August 2, 1998 is = 481.5.
8. Site Coverage Calculations:
Green Space = 2,113,607.61 ~ 0.982%
Building Space = 2,400 S.F. ~ 0.001%
Pavement Space = 37,472.26 S.F. ~ 0.017%

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

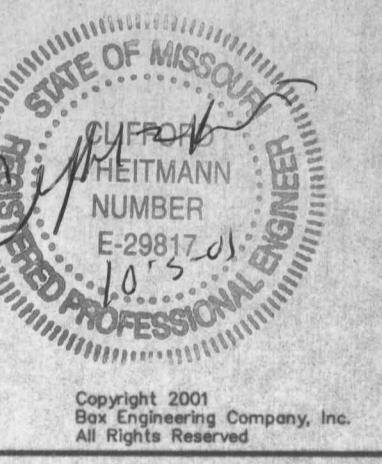
- SEEDING RATES:**
- PERMANENT:**
Tall Fescue - 30 lbs./ac.
Smooth Brome - 20 lbs./ac.
Combined - Fescue @ 15 lbs./ac. AND
Brome @ 10 lbs./ac.
- TEMPORARY:**
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per sq. ft.)
Oats - 120 lbs./ac. (2.75 lbs. per sq. ft.)
- SEEDING PERIODS:**
Fescue or Brome - March 1 to June 1
Wheat or Rye - March 15 to November 1
Oats - March 15 to September 15
- MULCH RATES:**
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)
- FERTILIZER RATES:**
Nitrogen 30 lbs./ac.
Phosphate 30 lbs./ac.
Potassium 30 lbs./ac.
Lime 600 lbs./ac. ENM*
- * ENM = effective neutralizing material as per State evaluation of quarried rock.

GENERAL NOTES

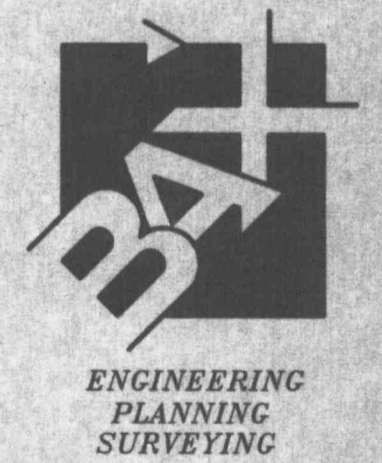
1. Underground utilities have plotted from available information and therefore location shall be considered approximate only. The verifications of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor and shall be located prior to any grading or construction improvements.
2. Gas, water and other underground utilities shall not conflict with the depth or horizontal location of existing or proposed sanitary and storm sewers, including house laterals.
3. All existing site improvements disturbed, damaged or destroyed shall be repaired or replaced to closely match pre construction conditions.
4. All fill including places under proposed storm and sanitary sewer lines and paved areas within and off the road right-of-way shall be compacted to 90 percent of maximum density as determined by the "Standard Proctor Test (ASTM-D-698)". All tests shall be verified by a Soils Engineer concurrent with grading and back filling operations. The compacted fill shall be free of rutting and shall be non-yielding and non-pumping during proof rolling and compaction. All trench backfills in paved areas shall be granular fill.
5. The contractor shall prevent all storm, surface water, mud and construction debris from entering the existing sanitary sewer system.
6. All sanitary sewer flowlines and tops built without elevations furnished by the engineer will be the responsibility of the sewer contractor.
7. Easements shall be provided for all sanitary sewers, storm sewers and all utilities on the record plat. See record plat for location and size of easement.
8. All construction and materials shall conform to the current construction standards of the City of O'Fallon and Duckett Creek Sanitary Dist.
9. The City of O'Fallon and Duckett Creek Sanitary District shall be notified at least 48 hour prior to start of construction for coordination and inspection.
10. All sanitary sewer building connections have been designed so that the minimum vertical distances from the low point of the basement to the flowline of a sanitary sewer at the corresponding building connection is not less than the diameter of the pipe plus the vertical distance of 2-1/2 feet.
11. All sanitary sewer manholes shall be waterproofed on the exterior in accordance Missouri Dept. Of Natural Resources specifications 10 CSR-8.120(7)(E).
12. All PVC sanitary sewer pipe is to be SDR-35 or equal with "clean" 1/2 inch to 1 inch granular stony bedding uniformly graded. This bedding shall extend from 4 inches below the pipe to springline of pipe. Immediate back fill over pipe shall consist of same size "clean" or "minus" stone from springline of pipe to 6 inches above the top pipe.
13. All sanitary and storm sewer trench backfills shall be water jetted. Granular back fill will be used under pavement areas.
14. All pipes shall have positive drainage through manholes. No flat base structures are allowed.
15. Brick shall not be used on sanitary sewer manholes.
16. All PVC sanitary sewer pipe shall meet the following standards. A.S.T.M. D-3034 SDR-35 with wall thickness compression joint A.S.T.M. D-3212. An appropriate rubber seal waterstop as approved by the sewer district shall be installed between P.V.C. pipe and masonry structures.
17. All sanitary and storm sewers shall meet all specifications and installation requirements of the local governing authority.
18. All water lines shall be laid at least 10 feet horizontally from any sanitary sewer, or manhole. Whenever water lines must cross sanitary sewers, laterals or storm drains the water line shall be laid at such an elevation that the bottom of the water line is 18 inches above the top of the drain or sewer. A full length of water pipe shall be centered over the sewer line to be crossed so that the joints will be equally distant from the sewer and as remote therefrom as possible. This vertical separation shall be maintained for that portion of the water line located within 10 feet, horizontally, of any sewer or drain it crosses.
19. Final occupancy permit will not be issued until the hard-surfaced roadway from the subject site to Waterford Crossing is complete.
20. All proposed utilities shall be located underground.
21. All FEMA and City requirements will be met for this development.
22. No slopes shall be steeper than 3:1.
23. Developer must supply City construction inspectors with soil reports prior to or during site soil testing.

PREPARED FOR: FUTURA R.E. INVESTMENTS
3465 STATE HIGHWAY "K"
O'FALLON, MISSOURI 63366
PHONE (636) 940-9000
FAX (636) 862-0677

DISCLAIMER OF RESPONSIBILITY
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey.



REVISIONS	
04-23-01	CITY COMMENTS
10-3-01	MISC. REVISIONS



ENGINEERING
PLANNING
SURVEYING
1052 South Cloverleaf Drive
St. Peters, MO. 63376-6445
314-928-5552
FAX 928-1718

3-27-01
DATE
99-10372A
PROJECT NUMBER
1 OF 4
SHEET OF
10372con.dwg
FILE NAME
ALJ CLH
DRAWN CHECKED

10-4-01 QRS
APPROVED
RECEIVED
OCT 03 2001
CITY OF O'FALLON, MO

Const Inspector

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