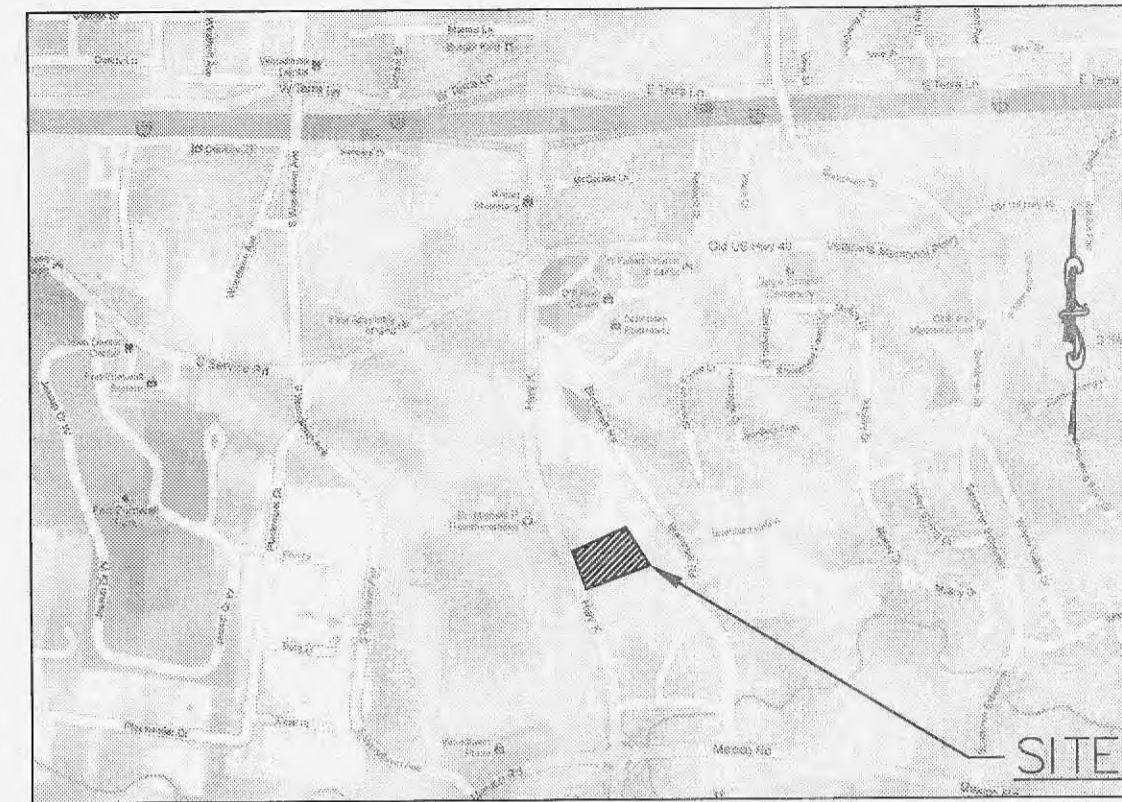


Plan View



Locator Map

Legend

EXISTING RIGHT OF WAY	R/W
PROPERTY LINE	E
EXISTING EASEMENT	---
BUILDING SETBACKS	---
EXISTING CONTOUR	---
EXISTING CONTOUR IDX	---XXX---
EXISTING UNDERGROUND ELECTRIC	---UGE---
EXISTING AERIAL ELECTRIC	---AE---
EXISTING GAS LINE	---G---
EXISTING UNDERGROUND TELEPHONE	---UGT---
EXISTING WATER MAIN	---W---
EXISTING FIBER OPTIC LINE	---FO---
EXISTING CABLE TELEVISION	---CATV---
EXISTING STORM SEWER	---SS---
EXISTING SANITARY SEWER	---SAN---
EXISTING SANITARY SEWER MANHOLE	○
EXISTING FIRE HYDRANT	○
EXISTING ASPHALT	▨
NEW STORM SEWER CURB INLET/ MANHOLE	■ ●
NEW SANITARY SEWER MANHOLE	●
NEW SANITARY CLEANOUT	○
NEW SANITARY SEWER LATERAL	---LAT---
NEW STORM SEWER	---SS---
NEW FIRE HYDRANT	○
ACCESSIBLE PARKING SYMBOL	♿
ACCESSIBLE PARKING SIGN	#
PARKING NUMBERS	#
NEW STANDARD DUTY CONCRETE PAVEMENT	▨
NEW HEAVY DUTY CONCRETE PAVEMENT	▨
EXISTING CONCRETE PAVEMENT	▨
NEW CONCRETE SIDEWALK/APPROACH	▨
NEW ASPHALT TRAIL	▨
NEW BUILDING	▨
EXISTING BUILDING	▨
NEW LIGHTS	⊠
NEW ELECTRIC TRANSFORMER	⊠
NEW FENCE	—○—
NEW FRENCH DRAIN	—FD—
NEW DOWNSPOUT COLLECTOR	—DS—
NEW UNDERGROUND ELECTRIC	---UGE---
NEW CONTOUR	---
NEW CONTOUR IDX	---XXX---
NEW DRAINAGE AREA	▨
NEW SILT FENCE	▨
GRADING LIMITS	---

Benchmarks:

SITE BENCHMARK:
ELEV=555.62

SQUARE CUT ON CONCRETE
BASE OF LIGHT STANDARD
LOCATED 84 FOOT EAST
AND 2 FOOT NORTH OF THE
NORTHWEST PROPERTY
CORNER.

Drawing Index:

- General Notes...GC1
- Site Plan...C1
- Utility Plan... C2
- Grading Plan...C3
- Storm Sewer Plan/Profile 1...C4
- Storm Sewer Plan/Profile 2...C5
- Storm/Sanitary Sewer Plan/Profile 3...C6
- Storm Drainage Area Map...C7
- S.W.P.P. Plan Notes...C8
- Warping Details...C9
- Details...C10-C14
- Landscape Plan...L1
- Photometric Plan...P1

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
7:00 A.M. To 7:00 P.M. Monday Through Sunday
June 1 Through September 30
6:00 A.M. To 8:00 P.M. Monday Through Friday
7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 2.30 ACRES.

The area of land disturbance is 2.30 ACRES.

Number of proposed lots is 1

Building setback information: Front 25'
Side NONE
Rear NONE

* The estimated sanitary flow in gallons per day is 2,880.

* Parking calculations:

PARKING SPACE CALCULATIONS:
9'x19' PARKING SPACES
5.5 SPACES PER 1,000 S.F. OF FLOOR SPACE
= 80 SPACES REQUIRED
= 80 PROVIDED WITH 4 HANDICAP

* Tree preservation calculations:
SEE TREE PRESERVATION PLAN PREPARED BY
ST. CHARLES ENGINEERING & SURVEYING.

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

A SET OF CONSTRUCTION PLANS FOR O'FALLON MERS/GOODWILL



Legal Description:
THOELE HIGHWAY "K" RETAIL
A TRACT OF LAND BEING PART OF U.S. SURVEY 55 +
SECTION 28, TOWNSHIP 47 NORTH, RANGE 3 EAST,
ST. CHARLES COUNTY, MISSOURI

Conditions of Approval From Planning and Zoning:

Staff Recommendations:

1. The drainage swale along Highway K shall be piped and enclosed per MoDOT standards.
2. The City will require that a traffic study be completed for this development. The developer has the choice of hiring a consultant to conduct the study and then engage the City's consultant at the developer's expense to review the study, or engage the City's Traffic Consultant to complete the study. This study shall include the review of the shared roadway to determine what the width and slope should be, review internal traffic patterns, and the utilization of the shared road for circulation access onto Highway K. The recommendations and conclusions of this traffic study shall be incorporated into the Grading or Construction Site Plans.
3. Bramblett Road is not currently constructed to City Standards. Per Section 400.261 of the Municipal Code, the existing Bramblett Road shall be improved to the centerline for a collector roadway standard. Since the roadway improvements have not been designed, a fee in lieu of construction will be accepted.
4. The proposed internal shared road from Bramblett Road to Highway K is shown as an easement on the Preliminary Plat and is labeled to be constructed by others on the Site Plan. The plans for this roadway shall be reviewed and approved prior to or concurrently with the Construction Plans for the Goodwill site. This roadway shall be in place and open to traffic prior to the issuance of an occupancy permit for Goodwill.
5. Provide any necessary easements for future Bramblett Road construction should the ten (10) foot right-of-way dedication not be sufficient.

Municipal Code Requirements:

1. Provide conceptual approval from MODOT and the fire district.
2. Indicate how the storm water cleansing will be accomplished for this site.
3. Additional trees need to be relocated along the access roadway to meet the City's street tree requirements.
4. Provide details of the accessible ramps.
5. Provide at least two (2) feet of green space between the curb and the proposed four (4) foot wide sidewalk. A five (5) foot wide sidewalk may be constructed in lieu of this requirement. Crosswalks need to be provided where the sidewalks terminate.

Utility Contacts

Sanitary Sewers

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858

Water

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
Contact: 636-281-2858

Storm Sewer

City of O'Fallon
100 N. Main St.
O'Fallon, MO. 63366
636-281-2858

Electric

Ameren UE
200 Callahan Road
Wentzville, MO. 63385
636-639-8312

Gas

Laclede Gas Company
6400 Graham Road
St. Louis, MO. 63134
314-522-2297

Telephone

Century Link
1151 Century Link Dr.
Wentzville, MO. 63385
636-332-7261

Fire District

O'Fallon Fire Protection District
119 E. Elm St.
O'Fallon, MO. 63366
636-272-3493

REVISION DATE:

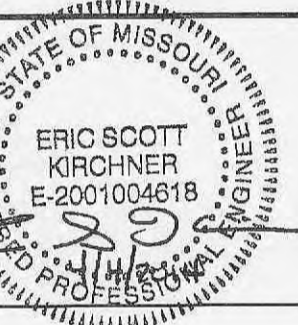
- 11-19-13 PER CITY COMMENTS
- 12-19-13 COMMENTS
- 1-16-14 MODOT COMMENTS
- 2-11-14 PER MODOT COMMENTS
- 3-6-14 PER ACCESS ROAD MODIFICATIONS
- 4-4-14 PER ACCESS ROAD MODIFICATIONS

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: [Signature] DATE 5-5-14
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN

PREPARED FOR:
MERS/GOODWILL
1727 LOCUST ST.
ST. LOUIS, MO 63103
314-241-3464

MERS/GOODWILL

636-332-4574 (tel.)
636-327-0760 (fax)
www.mersgoodwill.com
• Civil Engineering
• Land Surveying
• Architecture
• Site Development
• General Consulting
• Master Planning



DATE
Eric S. Kirchner No. E-2001004618
Registered Professional Engineer
State of Missouri
for Cochran Engineering & Surveying

Developer / Owner Information:

Mers/Goodwill
1727 Locust St.
St. Louis, MO 63103
314-241-3464

City of O'Fallon Cover Sheet

P+Z No.

Approval Date: 01/03/2013

07/18/2013

City No. 18-12.02
18-12.02.01

Page No.
Cover