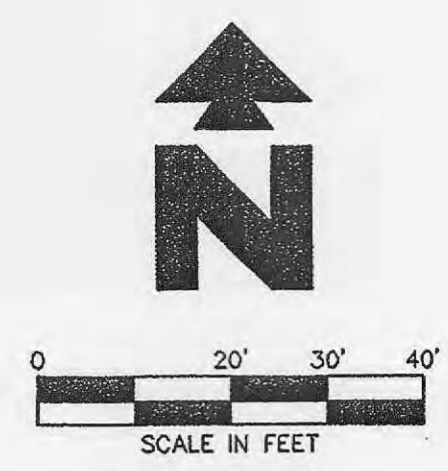


Vicinity Map  
Not to Scale



BENCHMARK:  
TOP OF SANITARY MANHOLE (PER IMPROVEMENT PLANS BY BUSCHER FRANKENBERG ASSOCIATES, INC. DATED MARCH 1996) IN ASPHALT DRIVE AT THE SOUTHWEST CORNER OF SITE WITH THE ELEVATION ON 527.00

NOTE:  
SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.



LEGEND

VEGETATION ESTABLISHMENT INFORMATION:-  
PERMANENT:-  
FESCUE - SOD (4,810 SF)  
TEMPORARY:-  
FESCUE - 3 LBS/1000 SF  
SEEDING PERIODS:-  
FESCUE - MARCH 1 TO JUNE 1  
AUGUST 1 TO OCTOBER 1  
MULCH RATES:-  
100 LBS/1,000 SF  
FERTILIZER RATES:  
NITROGEN 30 LBS/AC  
PHOSPHATE 30 LBS/AC  
POTASSIUM 30 LBS/AC

EXISTING	
A-Pvmt	Asphalt Pavement
C-Pvmt	Concrete Pavement
CB	Catch Basin
CL	Concrete
CMP	Corrugated Metal Pipe
ChB	Chord Bearing
Conc	Concrete
Cor	Corner
DB	Deed Book
Ditch	Rovine/Ditch
E	Edge
FL	Fire Hydrant
FL 15"	Gutter
FL 15"	Flowline 15 in
GAS	UG Gas Line
GI	Grate Inlet
GW	Guy Wire
L	Length of Curve
Lt	Street Light
MH	Manhole
N/F	Now or Formerly
OW	Overhead Wires
P/B	Pilot Book
PG	Page
PL	Property Line
R	Radius
R/W	Right of Way
Rec	Record
Sprinkler	Lawn Sprinkler
Surv	Survey
TB	Top of Bank
TC	Top of Curb
TS	Top of Slope
UP	Utility Pole

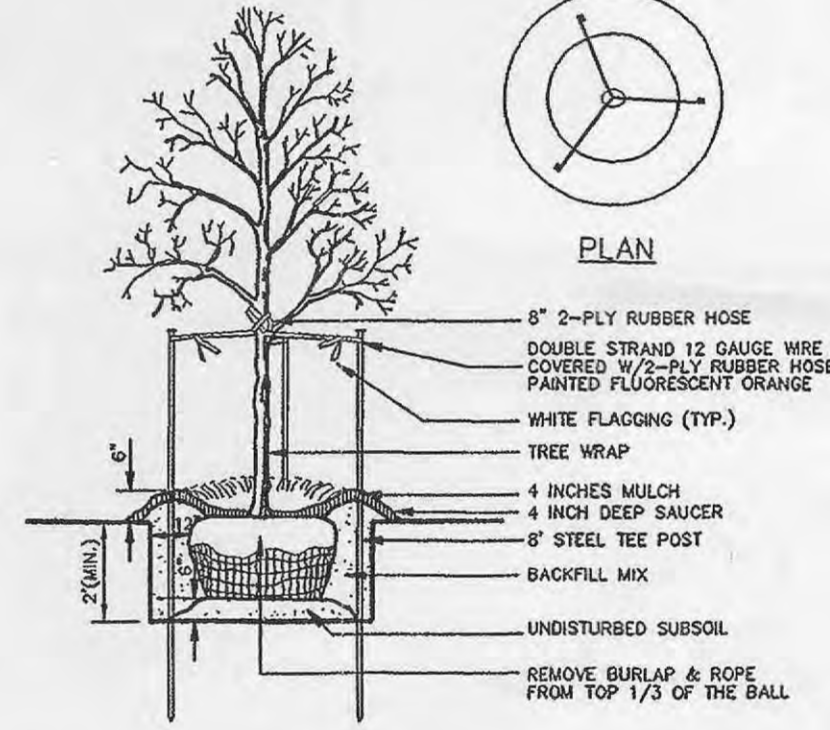
PROPOSED	
---	BOUNDARY LINE
---	RIGHT OF WAY LINE
---	STORM DRAIN
---	FESCUE GRASS SOD ± 4,980 S.F.
○	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)

GENERAL LANDSCAPE NOTES

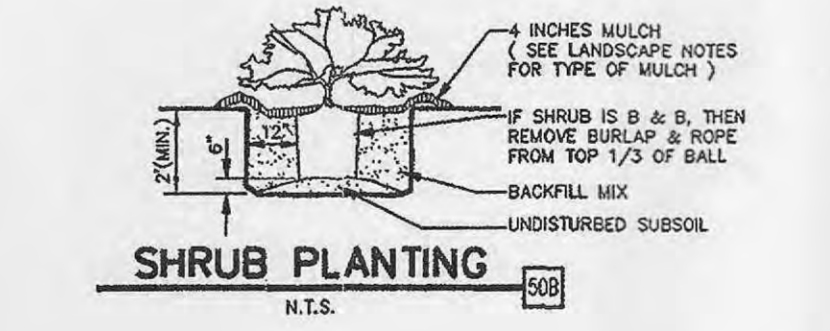
- LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
- NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
- ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SEEDED WITH GRASS MIX WITH FESCUE OF 100% BY WEIGHT AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
- FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
- SEE GRADING PLAN FOR APPLICATION OF TOPSOIL AND MAINTENANCE OF SEEDED AREAS.
- HARDWOOD MULCH SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
- ALL LANDSCAPE MATERIAL, LIVING AND NON-LIVING, SHALL BE LETHAL AND IN PLACE PRIOR TO ISSUANCE OF FINAL OCCUPANCY PERMIT.
- THE TREES, SHRUBS, AND OTHER LANDSCAPING MATERIALS DEPICTED ON THE PLANS OF THE PROJECT IN THE SAME MANNER AS PARKING, BUILDING MATERIALS AND OTHER DETAILS ARE ELEMENTS OF THE PLAN.
- THE DEVELOPER, HIS/HER SUCCESSOR AND/OR SUBSEQUENT OWNERS AND THEIR AGENTS SHALL BE RESPONSIBLE FOR THE CONTINUED MAINTENANCE.
- PLANT MATERIAL WHICH EXHIBITS EVIDENCE OF INSECT PESTS, DISEASE, AND/OR DAMAGE SHALL BE APPROPRIATELY TREATED, AND DEAD PLANTS PROMPTLY REMOVED AND REPLACED WITHIN THE NEXT PLANTING SEASON.
- ALL LANDSCAPE TREES SHALL BE INSTALLED PER DETAIL 50A. ALL LANDSCAPE SHRUBS SHALL BE INSTALLED PER DETAIL 50B.

LANDSCAPE DETAILS	
50A	TREE PLANTING (TYP.)
50B	SHRUB PLANTING (TYP.)

LANDSCAPE NOTES	
50A	STEEL EDGING



TREE PLANTING  
N.T.S.



SHRUB PLANTING  
N.T.S.

TABULATIONS

LANDSCAPE AREA	TOTAL LOT AREA = 30,482 S.F.	
	REQUIRED	PROVIDED
STREET FRONTAGE TREES	1 TREE FOR EVERY 40' OF STREET FRONTAGE, PUBLIC OR PRIVATE, SHALL BE REQUIRED WITHIN THE LANDSCAPE SETBACKS ABUTTING SAID STREET FRONTAGE. SAID TREES MAY BE CLUSTERED.	6 TREES
TREES	IN ADDITION TO THE REQUIRED TREES, BASED UPON THE STREET FRONTAGE, 1 TREE SHALL BE REQUIRED FOR EVERY 4,000 S.F. OF OPEN LANDSCAPED SPACE. THESE TREES MAY INCLUDE TREES REQUIRED IN PARKING LOT.	6 TREES
INTERIOR LANDSCAPE	NOT LESS THAN 6% OF THE INTERIOR PARKING LOT SHALL BE LANDSCAPED. PLANTING ALONG THE PERIMETER OF A PARKING LOT SHALL NOT BE CONSIDERED AS PART OF THE INTERIOR LANDSCAPING REQUIREMENT.	±1,375 S.F. INTERIOR LANDSCAPING
	PARKING AREA = ±9,450 S.F. 6% OF PARKING AREA = 567 S.F.	

PLANT LIST

SYMBOL	KEY	QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
TREES						
○	RM	10	RED MAPLE <i>Acer rubrum 'October Glory'</i>	B&B	2" CAL	SEE PLANS FOR SPACING
○	TM	2	TRIDENT MAPLE <i>Acer buergerianum</i>	B&B	4' TALL	SEE PLANS FOR SPACING
SHRUBS/GROUND COVER						
✱	JB	46	JAPANESE BARBERRY <i>Berberis thunbergii</i>	CONT.	5 GAL	3'-0" O.C. SPACING
⊗	SJ	63	SHRUBBY ST. JOHNSWORT <i>Hypericum prostratum</i>	CONT.	5 GAL	3'-0" O.C. SPACING
▨	BU		KENTUCKY BLUEGRASS	CONT.	±4,810 S.F.	

RESUBDIVISION OF LOT 4 OF  
SCHNUCK'S ADDITION TO  
THE CITY OF O'FALLON  
P.B. 37, PG. 117

SCHNUCK'S ADDITION  
TO THE CITY OF O'FALLON  
P.B. 33, PG. 375

SCHNUCK'S ADDITION TO  
THE CITY OF O'FALLON  
P.B. 33, PG. 375

ENGINEERING ASSOCIATES INC.  
PLANNERS  
7200 Ford Road, Suite 110  
Darien, IA 52230  
Phone: (515) 488-8732  
Fax: (515) 488-8732  
Date: 10-24-02  
JOB NO.: 7533proj.dwg  
DWG NAME: 7533proj.dwg  
REV-5

ArcVision Inc.  
ARCHITECTURE • ENGINEERING • SITE PLANNING  
1800 N. MIAMI FIELD INDUSTRIAL, C/O  
ST. LOUIS, MO 63102  
Ph: (314) 426-3800 Fax: (314) 426-3801  
www.arcvision.com

DATE	REVISIONS	REVISED PLANS PER HARDEE'S	REVISED PLANS PER CITY COMMENTS
9/20/02	△		
10/7/02	△		
10/24/02	△		

Hardees  
ARCHITECTURE AND ENGINEERING DEPT.  
505 NORTH 7TH STREET, SUITE 2000  
ST. LOUIS, MO 63101  
PHONE: 314-259-6400

The original of this plan and specifications ("Plans") are on file at Hardees's Food Systems, Inc. ("Hardees's") 505 North 7th Street, Suite 2000, St. Louis, Missouri 63101. Only a hard copy of the Plans shall be used for construction. Hardees's shall not be held responsible for any errors or omissions in the Plans. Hardees's shall not be held responsible for any damage to property or injury to persons or animals resulting from the use of the Plans. Hardees's shall not be held responsible for any damage to property or injury to persons or animals resulting from the use of the Plans. Hardees's shall not be held responsible for any damage to property or injury to persons or animals resulting from the use of the Plans.

LOCATION: HIGHWAY "N" O'FALLON, MISSOURI  
BUILDING TYPE: SH2000  
SHEET TITLE: LANDSCAPE PLAN  
CITY OF O'FALLON FILE NUMBER 2602  
PRN: TJB  
PM: LWY  
DES: WAO  
SHEET NO. C4