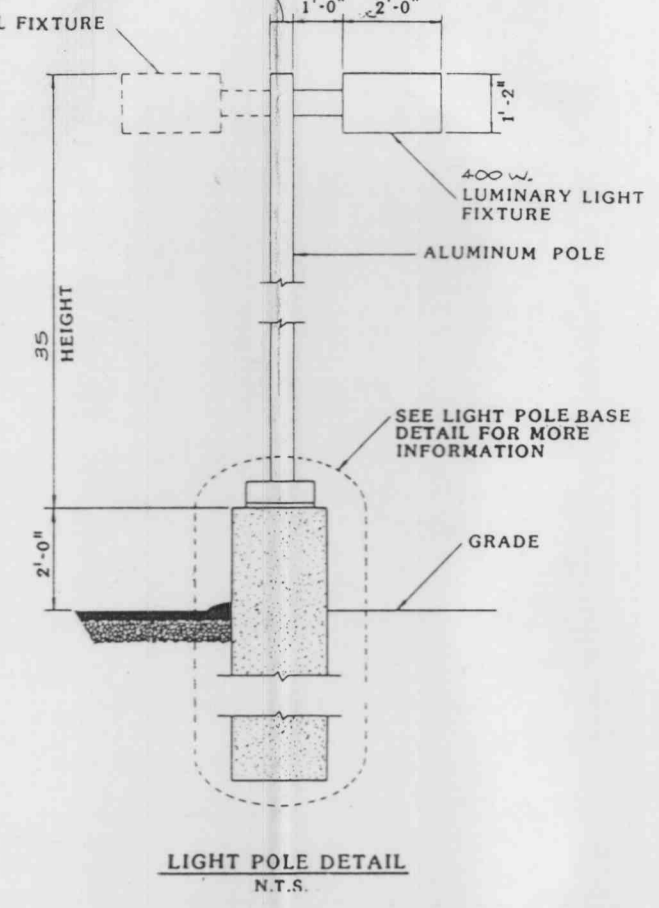


Lamps and Wattage	Catalog Number	Voltage Ballast	Height
70	PVL 60785-114	QUAD AL (HPF)	18 8.2
70	PVL 60786-111	100 (FACTORY (HPF)	18 8.2
100	PVL 61005-114	QUAD AL (HPF)	19 8.6
100	PVL 61006-111	100 (FACTORY (HPF)	19 8.6
150	PVL 61505-111	100 (FACTORY (HPF)	22 9.1

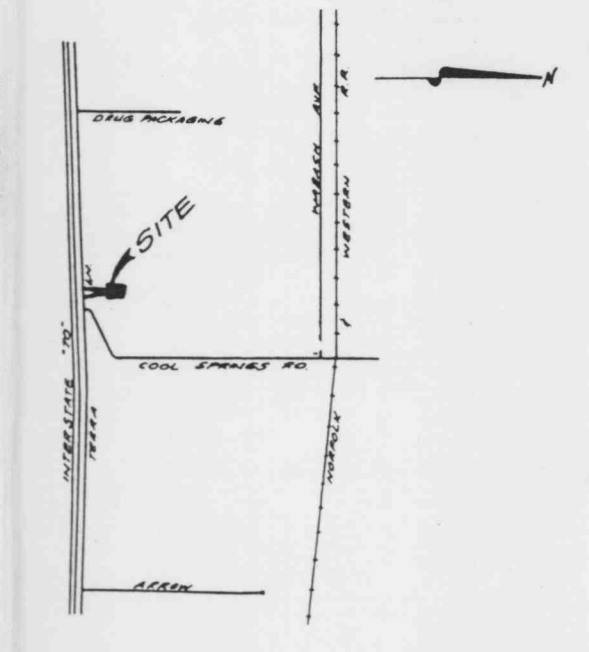
WALL MOUNTED LIGHT



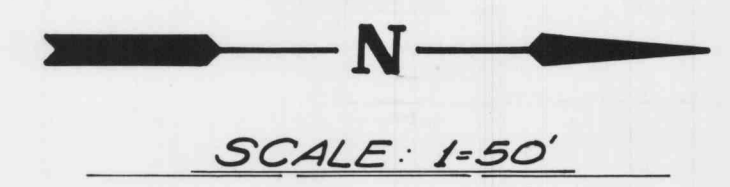
LIGHT POLE DETAIL N.T.S.

HEARTLAND EXPRESS TRUCKING FACILITY

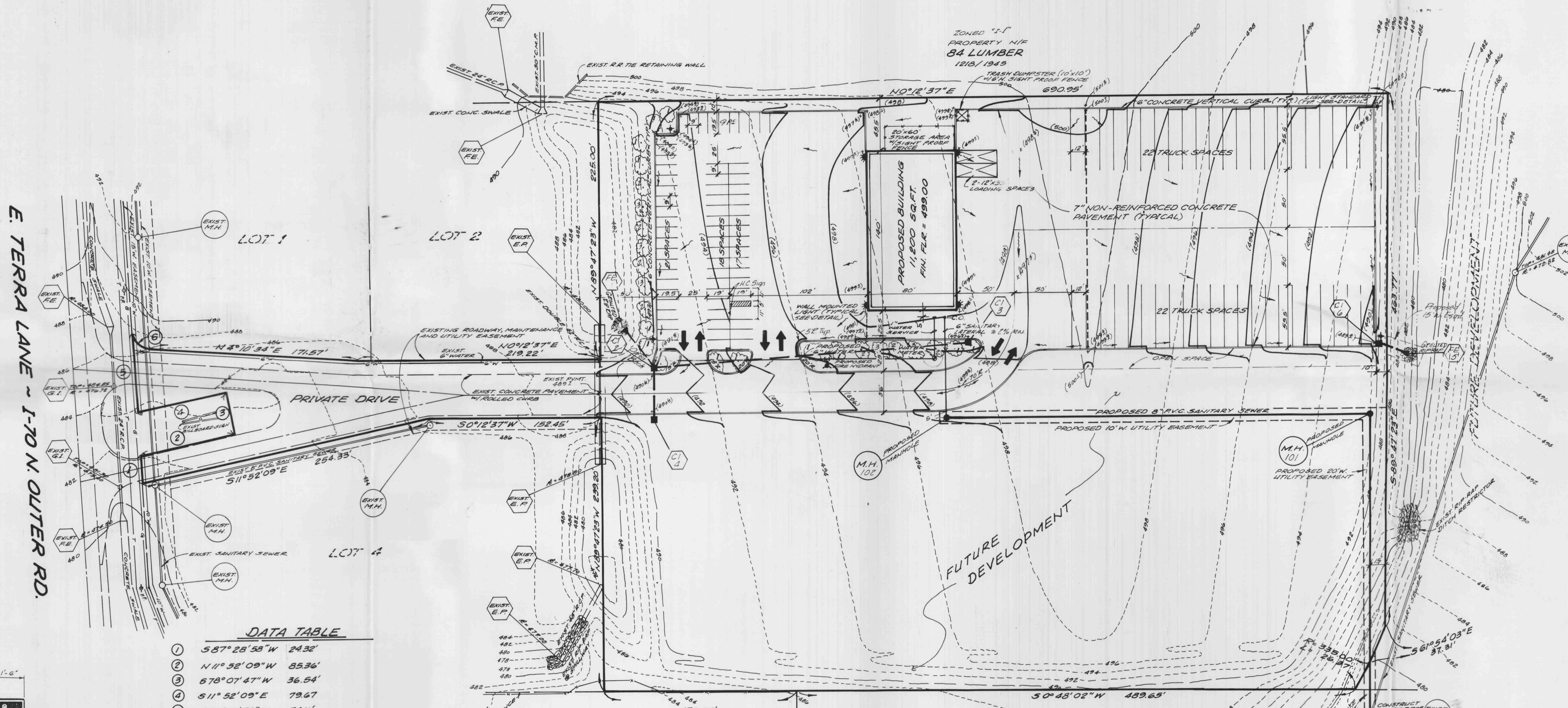
LOT 3 OF O'FALLON INDUSTRIAL CENTRE
SECTION 27, TOWNSHIP 47 NORTH, RANGE 3 EAST
ST. CHARLES COUNTY, MISSOURI



LOCATION MAP N.T.S.



SCALE: 1-50'

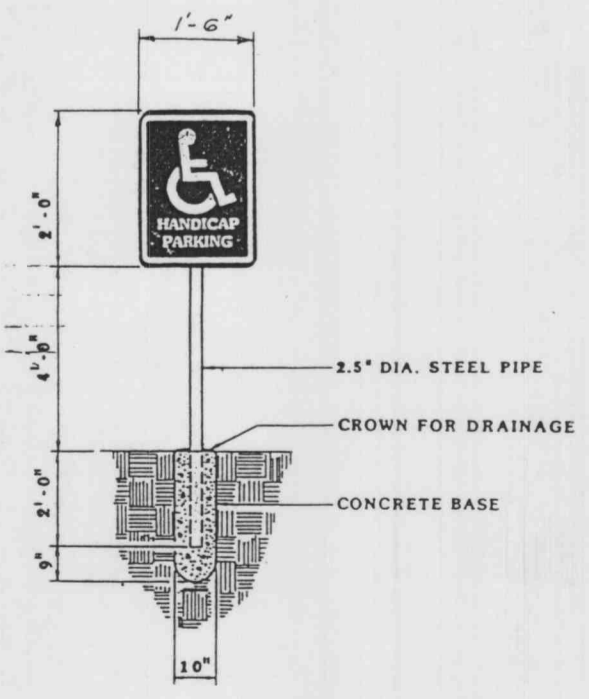


DATA TABLE

1	S 87° 28' 58" W	24.32'
2	N 11° 52' 09" W	85.36'
3	S 78° 07' 47" W	36.54'
4	S 11° 52' 09" E	79.67'
5	S 86° 51' 52" W	74.10'
6	R = 20.00' L = 28.71' RAD. BRNG. = N 3° 08' 08" W	

EXTERIOR PLANTING SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
1	13	PINUS STROBUS	EASTERN WHITE PINE	4'-6" TALL
2	7	QUERCUS PALUSTRIS	PIN OAK	6' TALL
3	5	FRAXINUS PENNSYLVANICA SUBINTEGERRIMA	GREEN ASH	6' TALL

- GENERAL NOTES
- Total Area: 8.755 Acres
 - Present Zoning: "I-1" Light Industrial District
 - Proposed Use: Truck Trailer Parking and Service Facility
 - Area of Building: 11,200 Square Feet
 - Setback Requirements:
Front Yard - 30 Feet
Side Yard - 20 Feet
Rear Yard - 35 Feet
 - Maximum Height of Building: 50 Feet or 3 Stories
 - This property is served by or located in the following service areas:
Water - City of O'Fallon
Sanitary Sewers - City of O'Fallon
Electric - Union Electric Company
Gas - St. Charles Gas Company
Telephone - G.T.E. of Missouri
School District - Port Zumwalt School District
Fire Protection - O'Fallon Fire Protection District
 - Developer shall comply with Current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23, of the City of O'Fallon's Zoning Ordinance.
 - Stormwater detention has been provided for the development.
 - Electric service to be underground.
 - Subject tract is not located within the 100 Year Flood Plain boundary.
 - Parking Spaces Required:
1 space per employee plus 1 space per 400 square feet of building area.
10 employees + 11,200 sq. ft. ÷ 400 sq. ft. = 10 + 28 = 38 spaces
 - Parking Spaces Provided:
65 spaces with 2 handicap spaces
 - Loading Spaces Required:
1 space plus 1 space per 20,000 sq. ft. of building area
1 space + 11,200/20,000 = 2 spaces
 - Loading Spaces Provided:
2 spaces at 12' x 35'
 - Landscape Requirements:
1 Tree/40 Feet of Frontage
1 Tree/4,000 Sq. Ft. of Open Space
Not Less Than 6% of Interior Parking Lot
130 feet ÷ 40 feet = 3.25 feet = 4 trees
25,000 sq. ft. ÷ 4,000 sq. ft. = 6.25 = 7 trees
Trees Required = 11 Trees
 - Landscaping Provided: 25 Trees



NOTE: THIS SIGN IS SINGLE FACED WITH WHITE LETTERS & BORDER ON BLUE BACKGROUND

APPROVED
6-16-93

Frank Adwin

APPROVED
DATE 12/19/92

P & Z

REV 7-14-92

PICKETT RAY & SILVER

Civil Engineers
Planners
Land Surveyors

333 Mid Rivers Mall Dr.
St. Peters, MO 63376
441-1211 278-1211

PREPARED FOR:
HEARTLAND EXPRESS
2777 HEARTLAND DRIVE
CORALVILLE, IOWA 52241
(319) 645-2723

DRAWN	J.L.K.	DATE	6-30-92
CHECKED		DATE	
FIELD BOOK		PROJECT #	92-138
		JOB ORDER #	26465

Handwritten notes and signatures.