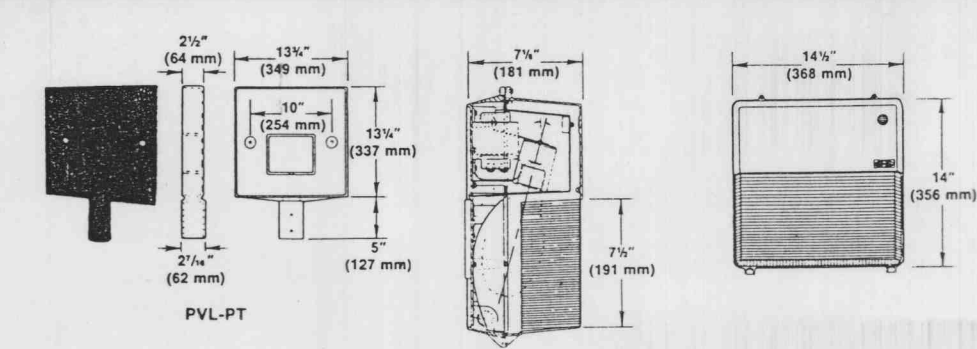


# HEARTLAND EXPRESS TRUCKING FACILITY

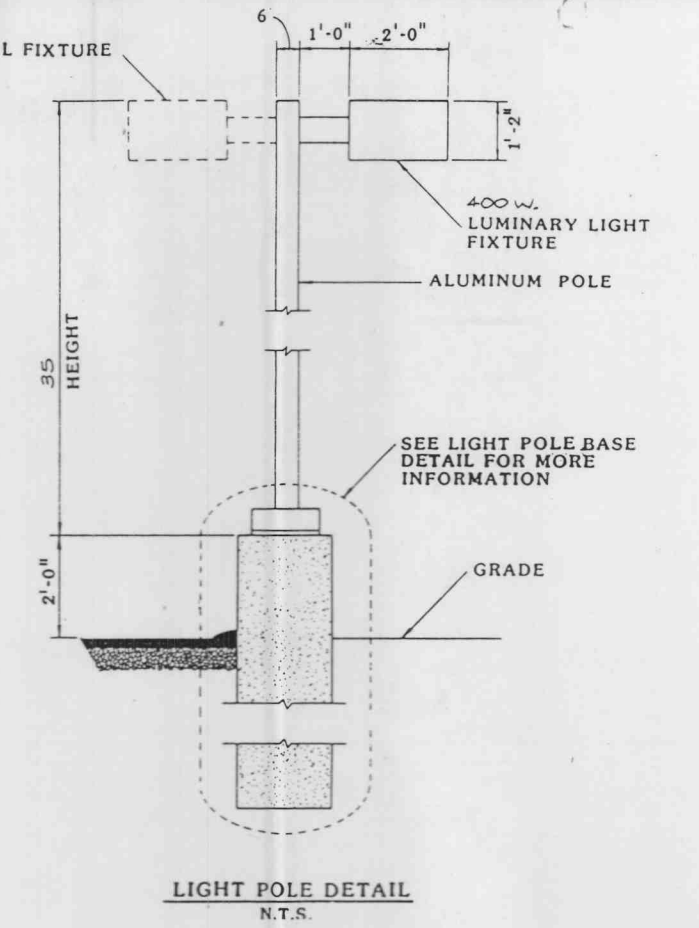
LOT 3 OF O'FALLON INDUSTRIAL CENTRE  
SECTION 27, TOWNSHIP 47 NORTH, RANGE 3 EAST  
ST. CHARLES COUNTY, MISSOURI

LOCATION MAP  
N.T.S.

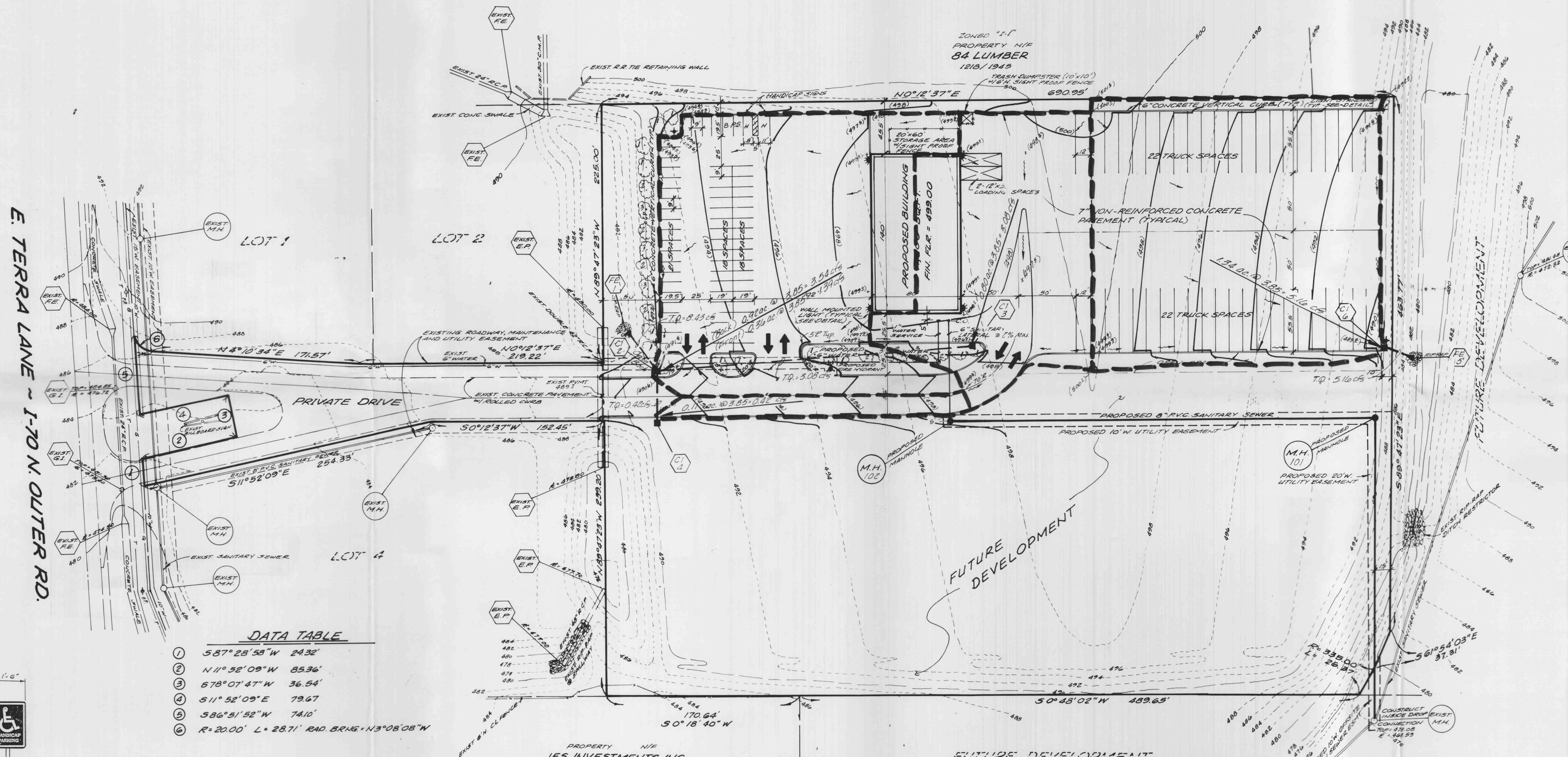


Lamps and Wattage	Catalog Number	Voltage/Ballast	Qty	Weight lbs. kgs.
HIGH PRESSURE SODIUM				
70	PVL-0070S-118	Quad (AL HPR)	18	8.2
100	PVL-0070S-111	Quad (AL HPR)	18	8.2
100	PVL-0085S-118	Quad (AL HPR)	18	8.6
100	PVL-0085S-111	Quad (AL HPR)	18	8.6
100	PVL-0100S-118	Quad (AL HPR)	18	9.0
100	PVL-0100S-111	Quad (AL HPR)	18	9.0

WALL MOUNTED LIGHT  
N.T.S.



LIGHT POLE DETAIL  
N.T.S.

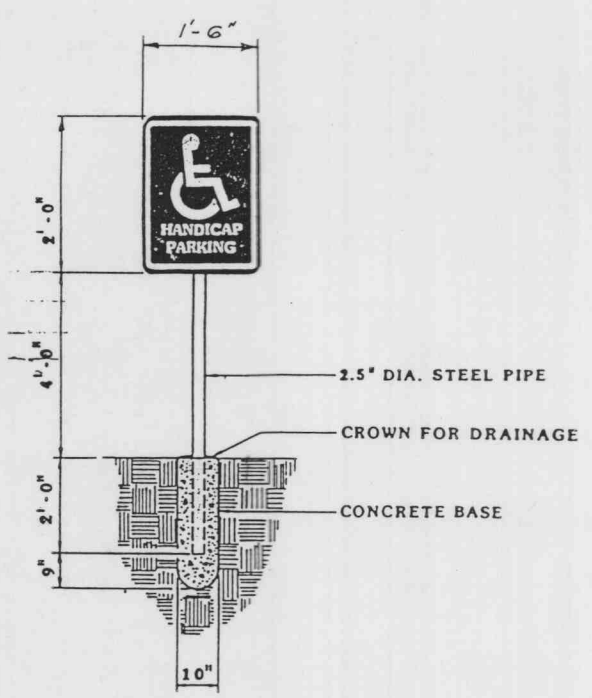


DATA TABLE

- ① 587°28'58"W 24.32'
- ② N 11°52'09"W 85.36'
- ③ 678°07'47"W 36.54'
- ④ S 11°52'09"E 79.67'
- ⑤ S 86°51'52"W 74.10'
- ⑥ R=20.00' L=28.71' RAD. BRNG. = N3°08'08"W

EXTERIOR PLANTING SCHEDULE				
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
①	13	PINUS STROBUS	EASTERN WHITE PINE	4'-6" TALL
②	7	QUERCUS PALUSTRIS	PIN OAK	6' TALL
③	5	FRAXINUS PENNSYLVANICA SUBINTEGERRIMA	GR. GREEN ASH	6' TALL

- GENERAL NOTES
1. Total Area: 8.755 Acres
  2. Present Zoning: "I-1" Light Industrial District
  3. Proposed Use: Truck Trailer Parking and Service Facility
  4. Area of Building: 11,200 Square Feet
  5. Setback Requirements:  
Front Yard - 10 Feet  
Side Yard - 20 Feet  
Rear Yard - 35 Feet
  6. Maximum Height of Building: 50 Feet or 3 Stories
  7. This property is served by or located in the following service areas:  
Sanitary Sewers - City of O'Fallon  
Electric - Union Electric Company  
Gas - St. Charles Gas Company  
Telephone - G.T.E. of Missouri  
School District - Fort Zumwalt School District  
Fire Protection - O'Fallon Fire Protection District
  8. Developer shall comply with Current Tree Preservation Ordinance Number 1689 and provide landscaping as set forth in Article 23, of the City of O'Fallon's Zoning Ordinance.
  9. Stormwater detention has been provided for the development.
  10. Electric service to be underground.
  11. Subject tract is not located within the 100 Year Flood Plain boundary.
  12. Parking Spaces Required:  
1 space per employee plus 1 space per 400 square feet of building area.  
10 employees + 11,200 sq. ft. ÷ 400 sq. ft. = 10 + 28 = 38 spaces
  13. Parking Spaces Provided:  
65 spaces with 2 handicap spaces
  14. Loading Spaces Required:  
1 space plus 1 space per 20,000 sq. ft. of building area  
1 space + 1/20,000 sq. ft. = 1 + 11,200/20,000 = 2 spaces
  15. Loading Spaces Provided:  
2 spaces at 12' x 35'
  16. Landscape Requirements:  
1 Tree/40 Feet of Frontage  
1 Tree/4,000 Sq. Ft. of Open Space  
Not Less Than 4% of Interior Parking Lot  
130 feet ÷ 40 feet = 3.25 feet = 4 trees  
25,000 sq. ft. ÷ 4,000 sq. ft. = 6.25 = 7 trees  
Trees Required = 11 Trees
  17. Landscaping Provided: 25 Trees



HANDICAPPED SIGN DETAIL  
N.T.S.  
NOTE:  
THIS SIGN IS SINGLE FACED  
WITH WHITE LETTERS & BORDER  
ON BLUE BACKGROUND

REV 7-14-92

**PICKETT RAY & SILVER**

Civil Engineers  
Planners  
Land Surveyors

333 Mid Rivers Mall Dr.  
St. Peters, MO 63376  
441-1211 278-1211

PREPARED FOR:  
**HEARTLAND EXPRESS**  
2777 HEARTLAND DRIVE  
CORALVILLE, IOWA 52241  
(319) 645-2728

DRAWN	J.L.K.	DATE	6-30-92	2
CHECKED		DATE		
FIELD BOOK	PROJECT #	92-138	JOB ORDER #	26465

3

Not for Construction  
For Information Purposes Only

Handwritten notes and initials.