

GENERAL NOTES

- 1. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor, and shall be located prior to any grading and/or construction of improvements.

- 33. Developer must supply City construction inspectors with soils reports prior to or during site soil testing.

DUCKETT CREEK SANITARY DISTRICT CONSTRUCTION NOTES

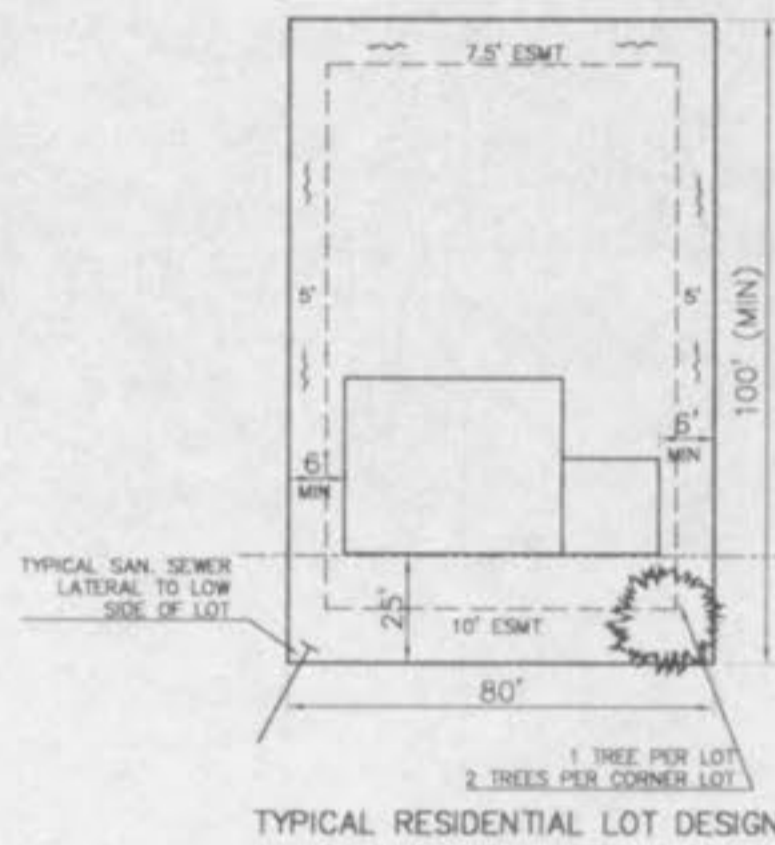
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SEWER MAIN INSTALLATION ALWAYS KEEP THE SEWER MAIN ON EASEMENT

- 1. Sewer mains are to be at least 8" PVC with a SDR35 rating.

NOTE: 48 HOUR NOTICE REQUIRED ON ALL INSPECTIONS

CONSTRUCTION PLANS
HIDDEN CREEK
PHASE 1
A TRACT OF LAND BEING ALL
OF LOT 10 OF HOWELL'S PRAIRIE TRACT
U.S. SURVEY 1669
ST. CHARLES COUNTY, MISSOURI



TYPICAL RESIDENTIAL LOT DESIGN



SUBDIVISION NOTES

AREA OF PHASE 1 - 34.22 ACRES
PHASE ONE EXTENDS NORTH TO THE CENTER OF CROOKED CREEK

NUMBER OF LOTS 62
FRONT YARD SETBACK 25'
SIDE YARD SETBACK 6'
REAR YARD SETBACK 25'

Drive way locations shall not interfere with the sidewalk handicap ramps.

City approval of the construction Site plans does not mean that single family dwelling units can be constructed on the lots without meeting the building setbacks as required by the Zoning Code.

All street signs and traffic signals shall be colored black in accordance with the approved MoDOT specifications.

All sign posts and backs and bracket arms shall be painted black using Corboline Rustbond Penetrating Sieder SG and Corboline 133 HB paint (or equivalent as approved by the City and/or MoDOT)

The Contractor shall assume complete responsibility for controlling all siltation and erosion of the project area. The Contractor shall use whatever means necessary to control erosion and siltation including, but not limited to, staked straw bales and/or siltation control fences (possible methods of control are detailed on the interim grading plan).

FLOOD PLAIN: ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 29183C435 E, DATED AUGUST 2, 1996, THIS PLAN IS IN ZONE AE FLOODPLAIN. THE LIMITS OF THE FLOODWAY, EXISTING FLOODPLAIN, AND PROPOSED FLOODPLAIN ARE PLOTTED ON THIS PLAN SET.

NOTE: ALL LOTS SHALL BE GRADED TO AN ELEVATION ABOVE THE 100-YEAR FLOODPLAIN.

Site Benchmark (On USGS Datum)- Elevation 485.66 - Iron Rod with Aluminum Disk on the North Side of existing O'Fallon Road being 59' + or - East of the Most Northern Corner of Property.

Site is served by:

- Water Missouri American Water
Sewer Duckett Creek Sewer District
Telephone Southwestern Bell Telephone
Electric Ameren UE
Gas St. Charles Gas Company
Cottleville Fire Protection District
Francis Howell School District
Pipeline Explorer Pipeline

DEVELOPER
VANTAGE HOMES, INC.
P.O. BOX 1270
ST. PETERS, MO 63376

LEGEND

Table with 3 columns: Symbol, Description, and Notes. Includes symbols for sanitary structure, storm structure, test hole, power pole, light standard, curb inlet, double curb inlet, grate inlet, area inlet, double area inlet, flared end section, end pipe, energy dissipator, manhole, reinforced concrete pipe, corrugated metal pipe, cast iron pipe, PVC, vitrified clay pipe, guy wire, sign, post, water meter, clean out, to be removed, to be removed & relocated, to be protected, to be abandoned, base of curb, top of curb, top of wall, typical, unless noted otherwise, use in place, existing contour, proposed contour, tree line, san. sewer (existing), san. sewer (proposed), storm drain (existing), storm drain (proposed), phone box, iron pipe, water line, size, hydrant, concrete pavement, placed rip-rap w/underlain fabric, street sign, stop sign.

INDEX

Index table listing sheet numbers and titles: 1 COVER SHEET, 2-3 FLAT PLAN, 4-5 GRADING PLAN, 6 STREET PROFILES, 7 ENTRANCE PLAN, 8 CUL - DE - SAC WARPINGS, 9-10 SANITARY PROFILES, 11 STORM PROFILES, 12 OFF-SITE DETENTION, 13-14 DRAINAGE AREA MAP, 15-16 WATER LINE PLANS, 17 LANDSCAPING, D-1 PAVEMENT DETAILS, D-2 SIDEWALK DETAILS, D-3-D-5 STORM DETAILS, D-6-D-7 SANITARY DETAILS, D-8-D-9 WATER DETAILS, D-10 MISC. DETAILS

Revised as per comments 06/05/03
Revised as per comments 07/22/03

HIDDEN CREEK
PHASE 1
VANTAGE HOMES, INC.

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448



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