

IMPROVEMENT PLANS

FOR

Hillmann Farm Plaza

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 31,
TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN
ST. CHARLES COUNTY, MISSOURI



LEGEND

EXISTING CONTOURS	-----433-----	WATER MANHOLE	WMH
PROPOSED CONTOURS	-----433-----	TELEPHONE MANHOLE	TMH
EXISTING STORM SEWER	=====	BRUSH & SHRUB LINE	~~~~~
PROPOSED STORM SEWER	=====	TREE & SIZE	(+36)
EXISTING SANITARY SEWER	=====	BUSH & SIZE	96
PROPOSED SANITARY SEWER	=====	BOLLARD	•
RIGHT-OF-WAY	-----	SIGN	○
EASEMENT	-----	ELECTRIC YARD LIGHT	⊗
CENTERLINE	-----	BORING LOCATION	⊕
EXISTING TREE	(12)	MAIL BOX	MB
EXISTING SPOT ELEVATION	x 433.28	ELECTRIC BOX	EB
PROPOSED SPOT ELEVATION	433.28	CLEAN OUT	CO
SWALE/DRAINAGE PATH	~~~~~	GAS VALVE	GV
TO BE REMOVED	T.B.R.	GAS METER	GM
TO BE REMOVED & RELOCATED	T.B.R. & R.	GAS DRIP	GD
TO BE USED IN PLACE	U.I.P.		
ADJUST TO GRADE	A.T.G.		
BACK OF CURB	B.C.		
FACE OF CURB	F.C.		
WATER MAIN	-----W-----		
GAS MAIN	-----G-----		
UNDERGROUND TELEPHONE	-----T-----		
OVERHEAD WIRE	-----O.H.-----		
UNDERGROUND ELECTRIC	-----E-----		
FIRE HYDRANT	⊕		
POWER POLE	⊕		
WATER VALVE	⊕		

ABBREVIATIONS

N	NORTH
S	SOUTH
E	EAST
W	WEST
CONC	CONCRETE
ASPH	ASPHALT
PB	PLAT BOOK
DB	DEED BOOK
PG	PAGE
S'	SQUARE FEET
AC	ACRES
ELEV	ELEVATION
FF	FINISH FLOOR
FL	FLOWLINE
PVC	POLYVINYL CHLORIDE PIPE
F'P	REINFORCED CONCRETE PIPE
STM	STORM
SAN	SANITARY
(S)	SAVE
(R)	REMOVE
(T.B.R.)	TO BE REMOVED

LAND DESCRIPTION

A TRACT OF LAND IN THE SOUTHWEST QUARTER OF SECTION 31, TOWNSHIP 47 NORTH, RANGE 3 EAST OF THE FIFTH PRINCIPAL MERIDIAN, ST. CHARLES COUNTY, MISSOURI, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PROPERTY CONVEYED TO RAYMOND AND DORIS HILLMAN BY DEED RECORDED IN BOOK 1020, PAGE 482 OF THE ST. CHARLES COUNTY RECORDS; THENCE ALONG THE NORTH LINE OF "GLENMORO PLAT ONE", RECORDED IN PLAT BOOK 33, PAGES 98-99 OF SAID RECORDS, NORTH 89 DEGREES 56 MINUTES 48 SECONDS WEST, 298.75 FEET TO THE EAST LINE OF BRYAN ROAD, SAID POINT BEING 46.50 FEET PERPENDICULARLY DISTANT EAST OF BRYAN ROAD CENTERLINE, STATION 76+90.99; THENCE ALONG SAID EAST LINE, NORTH 02 DEGREES 00 MINUTES 54 SECONDS EAST 635.85 FEET TO A POINT BEING 46.50 FEET PERPENDICULARLY DISTANT EAST OF BRYAN ROAD CENTERLINE, STATION 70+55.14, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF PROPERTY CONVEYED TO BLACKSTONE GROUP ILLINOIS, L.L.C. BY DEED RECORDED IN BOOK 2488, PAGE 1608 OF SAID RECORDS; THENCE ALONG THE SOUTH LINE OF SAID BLACKSTONE GROUP - ILLINOIS, L.L.C. PROPERTY, SOUTH 88 DEGREES 00 MINUTES 57 SECONDS EAST, 298.24 FEET TO THE WEST LINE OF THE AFORESAID HILLMAN PROPERTY; THENCE ALONG THE WEST LINE OF SAID HILLMAN PROPERTY, SOUTH 01 DEGREES 59 MINUTES 03 SECONDS WEST, 625.78 FEET TO THE POINT OF BEGINNING, CONTAINING 4.321 ACRES.

Provide a marking on the storm sewer inlets. The City will allow the following markers and adhesive procedures only as shown in the table below. "Peel and stick" adhesive pads will not be allowed.

Manufacturer	Size	Adhesive	Style
ACP International	3/8"	Epoxy	Crystal Cap
DAS Manufacturing Inc.	4"	Epoxy	Standard Style

Message (Part #1)
No Dumping to Waterways (SD-W-C)
No Dumping Drains to Stream (PSDS)

Website
www.acpinternational.com
www.dasmanufacturing.com

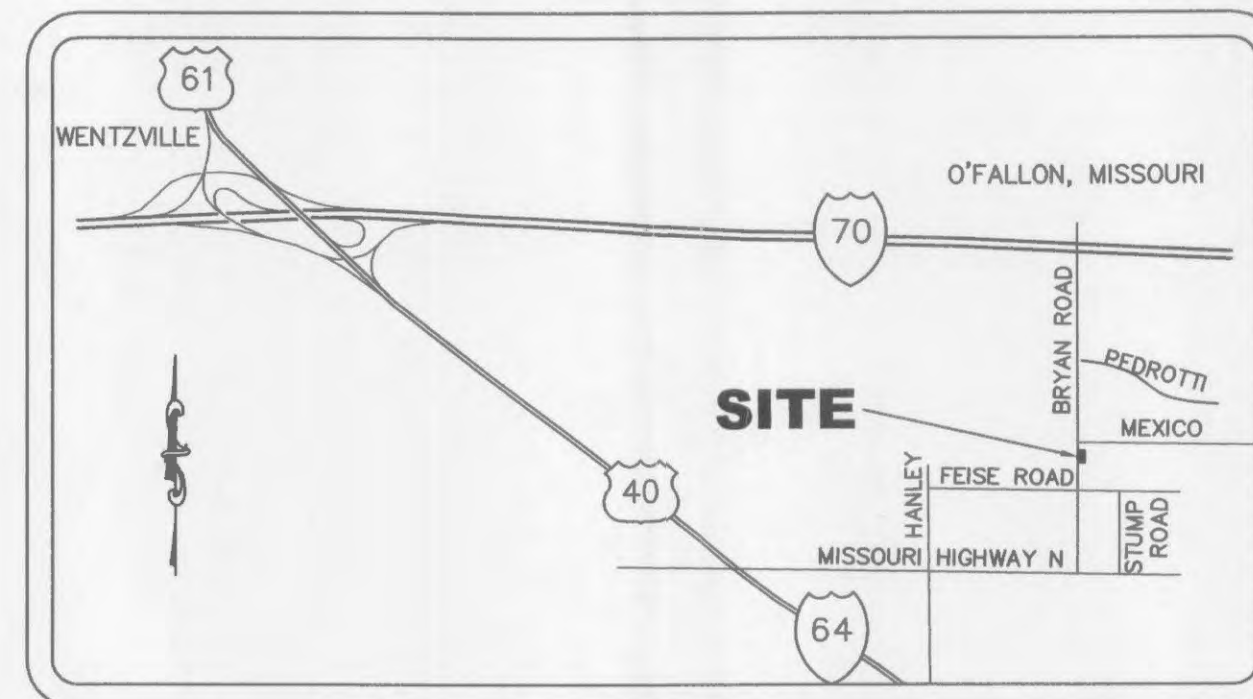
PREPARED FOR:

Lauber Land Developers, L.L.C.
#8 Parkland Avenue
Suite 500
St. Louis, Missouri 63122
Mr. Ron Lauber
314-821-8999

PREPARED BY:

CIVIL ENGINEERING
DESIGN CONSULTANTS, INC.

11402 GRAVOIS ROAD SUITE 100 SAINT LOUIS MISSOURI 63126
314.729.1400 FAX 314.729.1404 INFO@CEDC.NET WWW.CEDC.NET



LOCATION MAP
NOT TO SCALE

PROPERTY DATA

OWNER	= LAUBER LAND DEVELOPERS, L.L.C.
ADDRESS	= 1260 BRYAN ROAD
ACREAGE	= 4.321 Ac.±
EXISTING ZONING	= C2, GENERAL BUSINESS
FIRE DISTRICT	= O'FALLON FIRE PROTECTION DISTRICT
SCHOOL DISTRICT	= FORT ZUMWALT
SEWER DISTRICT	= PUBLIC WATER SUPPLY DISTRICT NO. 2
WATER SHED	= DARDENNE CREEK
FEMA MAP	= 2903150240 E, AUGUST 2, 1996
ELECTRIC COMPANY	= AMERENUE
GAS COMPANY	= LACLEDE GAS COMPANY
PHONE COMPANY	= CENTURY TEL
WATER COMPANY	= PUBLIC WATER SUPPLY DISTRICT NO. 2

UTILITIES

ELECTRIC COMPANY	= AMEREN UE - ST. CHARLES DISTRICT 200 N. CALLAHAN ROAD WENTZVILLE, MO 63385 PH. (636) 639-8311 ATTN: MR. JEFF BUTLER
PHONE COMPANY	= CENTURY TEL 1151 CENTURY TEL DRIVE WENTZVILLE, MO 63385 PH. (636) 332-7392 ATTN: CARL E. OWENS, JR.
GAS COMPANY	= LACLEDE GAS CO. 1999 TRADE CENTER DRIVE ST. PETERS, MO 63376 PH. (636) 978-2663, X-103 ATTN: MIKE LANGAN
WATER COMPANY	= PUBLIC WATER SUPPLY DIST. NO. 2 OF ST. CHARLES COUNTY 100 WATER DRIVE P.O. BOX 967 O'FALLON, MO 63366 PH. (636) 561-3737 ATTN: BRIAN M. PIEPER / MR. BILL SHIRLEY
FIRE DISTRICT	= O'FALLON FIRE PROTECTION DISTRICT 119 E. ELM STREET O'FALLON, MO 63366 ATTN: FIRE MARSHAL MARK MORRISON

"Developer must supply City construction inspectors with soil reports prior to or during site soil testing." The soil report will be required to contain the following information on soil test curves (Proctor reports) for projects within the City:

1. Maximum dry density.
2. Optimum moisture content.
3. Maximum and minimum allowable moisture content.
4. Curve must be plotted to show density from a minimum of 90% compaction and above as determined by the "Modified AASHTO T-99 Compaction Test" (A.S.T.M.-D-1557) or from a Minimum of 95% as determined by the "Standard Proctor Test AASHTO T-99, Method C" (A.S.T.M.-D-698). Proctor type must be designated on document.
5. Curve must have at least 5 density points with moisture content and sample location listed on document.
6. Specific gravity.
7. Natural moisture

Content. 8. Liquid limit. 9. Plastic Limit. Be advised that if this information is not provided to the City's Construction Inspector the City will not allow grading or construction activities to proceed on any project site.

INDEX OF SHEETS

C1	TITLE SHEET
C2	SPECIFICATION SHEET
C3	EXISTING CONDITIONS & DEMOLITION PLAN
C4	SITE AND GRADING PLAN
C5	SITE GEOMETRICS PLAN
C6	SEWER PROFILES
C7	SEWER DETAILS
C8	CONSTRUCTION DETAILS
C9	DRAINAGE AREA PLAN

PROJECT BENCHMARK

REFERENCE BENCHMARK: ELEVATION 643.21 DATUM (USGS)
EXISTING 600 N/A IN POWER POLE AT THE NORTHWEST CORNER OF FEISE ROAD AND BRYAN ROAD AS SHOWN ON IMPROVEMENT PLANS FOR FEISE ROAD, O'FALLON PROJECT NO.210-005, AS PREPARED BY GEORGE BUTLER ASSOCIATES

SITE BENCHMARK

SITE BENCHMARK ELEVATION 609.59 USGS DATUM
OLD IRON PIPE AT THE NORTHEAST CORNER SUBJECT PROPERTY.

NOTE:

CIVIL ENGINEERING DESIGN CONSULTANTS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS, METHODS & MATERIALS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. CIVIL ENGINEERING DESIGN CONSULTANTS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

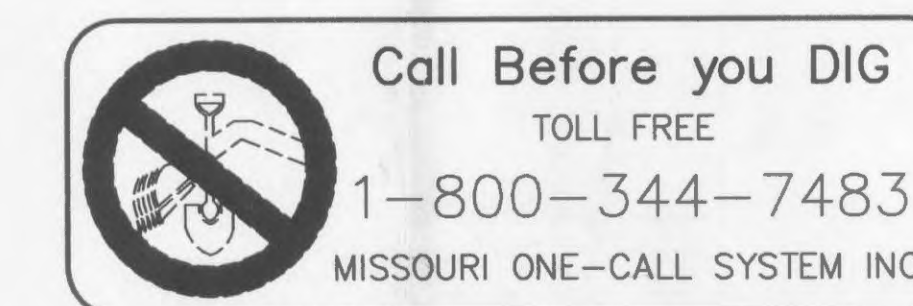
UTILITY NOTE:

UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY FROM COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMo.

NOTE TO CONTRACTOR

CONTRACTOR/SUBCONTRACTOR SHALL INVESTIGATE, ASCERTAIN AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF THE (ANY) VARIOUS AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO, OR CROSSINGS OF THEIR FACILITIES, WORKING WITHIN THEIR RIGHT-OF-WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS. SUCH INVESTIGATION TO INCLUDE BUT NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.



9-23-05
APPROVED
as noted

MoDOT UNDERGROUND LOCATE
CALL 314-340-4100

CIVIL ENGINEERING,
DESIGN CONSULTANTS, INC.
11402 GRAVOIS ROAD SUITE 100
SAINT LOUIS MISSOURI 63126
314.729.1400 FAX 314.729.1404
INFO@CEDC.NET WWW.CEDC.NET

Improvement Plans
Hillmann Farm Plaza
1260 Bryan Road
O'Fallon, Missouri 63366

Proj. #	0266
No. Description	Date
Owner Review	12.01.04
Per Engineer	12.07.04
Permit / Bidding	01.10.05
Per City	03.17.05
Per City	04.11.05

TITLE SHEET

C1

Const. Inspector