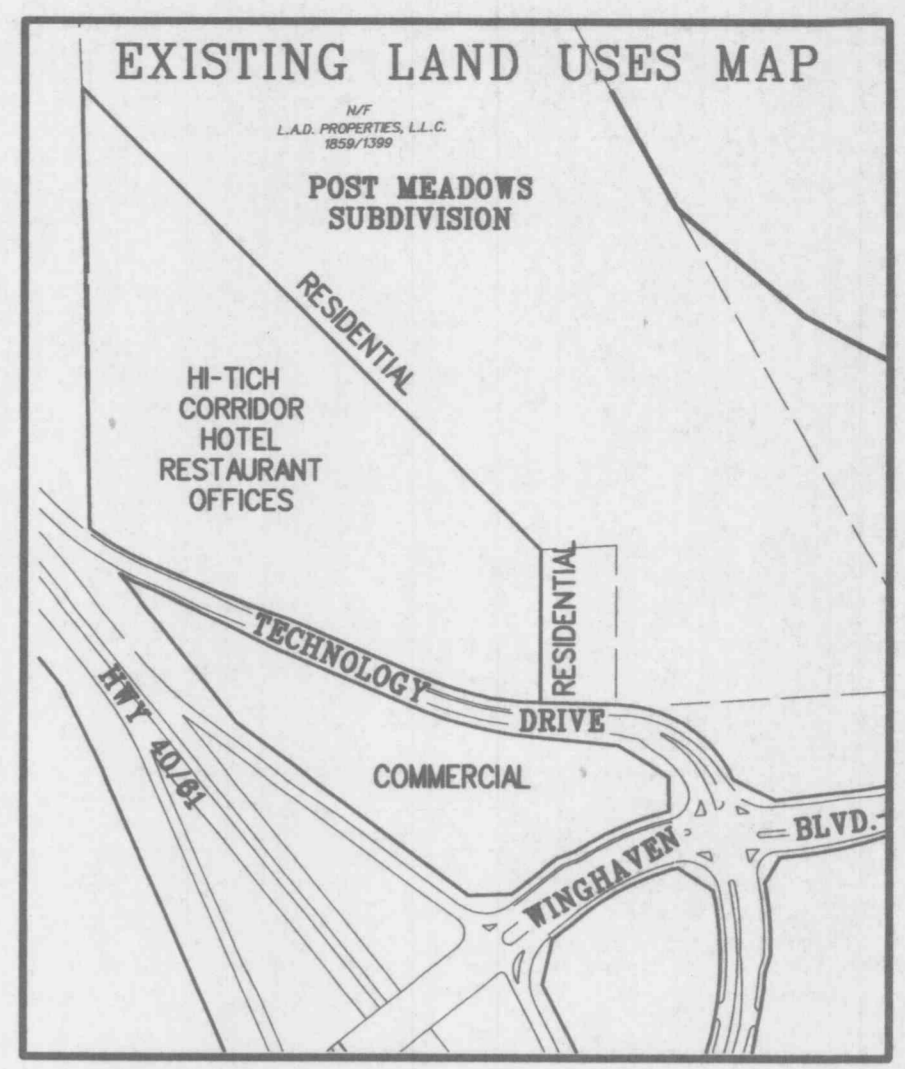


Scale in Feet
1" = 30'



McEAGLE DEVELOPMENT, L.L.C.
689 CRAIG ROAD
ST. LOUIS, MO. 63141
314-432-4520

VOLZ

STATE OF MISSOURI
JERRY A. PERDUE
REGISTERED PROFESSIONAL ENGINEER
E-2344
5-31-2002

ZONING - HIGH TECH
MUNICIPALITY - CITY OF FALLON
WENTZVILLE FIRE DISTRICT
WENTZVILLE SCHOOL DISTRICT
PUBLIC WATER DISTRICT NO.2

AREA OF SITE - 225,510 SF - 5.17 ACRES
PROPOSED USES - HOTEL

ALL NECESSARY UTILITIES (PUBLIC OR PRIVATE) WILL BE AVAILABLE, FUNCTIONING, AND USABLE AT THE TIME ANY STAGE OF THE PROJECT OR THE TOTAL PROJECT IS READY FOR OCCUPANCY. ALL UTILITIES SHALL BE UNDERGROUND.

THERE IS NO FLOOD PLAIN SHOWN ON THE FLOOD INSURANCE RATE MAP OF ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS MAP NUMBER 29183C410E DATED AUGUST 2, 1996 ON THIS SITE.

THERE ARE NO KNOWN WETLANDS ON THIS SITE.

STORM WATER DETENTION PROVIDED BY WINGHAVEN GLOBAL DETENTION PLAN.

PARKING REQUIREMENTS

1 PS PER ROOM X 122 ROOMS	= 122
1 PS PER 2 EMPLOYEES X 40 EMPLOYEES	= 20
1 PS PER MANAGER X 1 MANAGER	= 1
TOTAL	143 PS

HILTON CONFERENCE REQUIREMENT

1 PS PER 555FX50'X30'	= 28
TOTAL REQUIRED	171

PARKING PROVIDED

249 PS
7 HC PS
256 PS TOTAL

APPLICABLE UTILITIES

- St. Charles County Water District No. 2
- Duckett Creek Sanitary Sewer District
- Ameren UE
- Verizon Telephone
- St. Charles Gas Company

CONCRETE NOTES

SIDEWALKS: 4" THICK CONCRETE POURED IN PLACE WITH BROOM FINISH OVER 4" GRANULAR FILL WITH CONTROL JOINTS AT 5'-0" SPACING

PATIOS AND TERRACES: 4" THICK CONCRETE OVER 4" GRANULAR FILL WITH BROOM FINISH, SCORED CONTROL JOINTS IN 4'-0" GRID

PORTE COCHERE: 6" THICK STAMPED CONCRETE, 3,500 PSI MIN. PATTERN TO BE DETERMINED BY HILTON

CONCRETE SERVICE AREA: 6" THICK CONCRETE, 3,500 PSI MIN. NON-SLIP BROOM FINISH

CONCRETE APRON: 8" THICK CONCRETE, 3,500 PSI MIN. NON-SLIP BROOM FINISH

SET BACKS:
FRONT: 30' PARKING SETBACK
SIDE: (EASTERN) 15' PARKING SETBACK AND 15' TRANSITION STRIP. TOTAL - 30'

PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH PLANNING DIVISION.

TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS FOR FENCING DETAILS)

NO EXISTING TREES ARE TO BE REMOVED.

8" X 10" CROSS
2 CELL ELECTRIC DUCT BANK

REVISED: 05-29-02 CITY: SIDEWALK, CROSS ACCESS, ENTRANCE APRONS
REVISED: 05-15-02 CITY: R. SIDEWALK, LIGHTS, R. DOOR, GRADING
REVISED: 04-25-02 CITY-STORM SEWERS
REVISED: 3-29-02
REVISED: 3-11-02 CITY COMMENTS (JAF)
REVISED: 2-28-02 P.L./EASEMENTS (JAF)

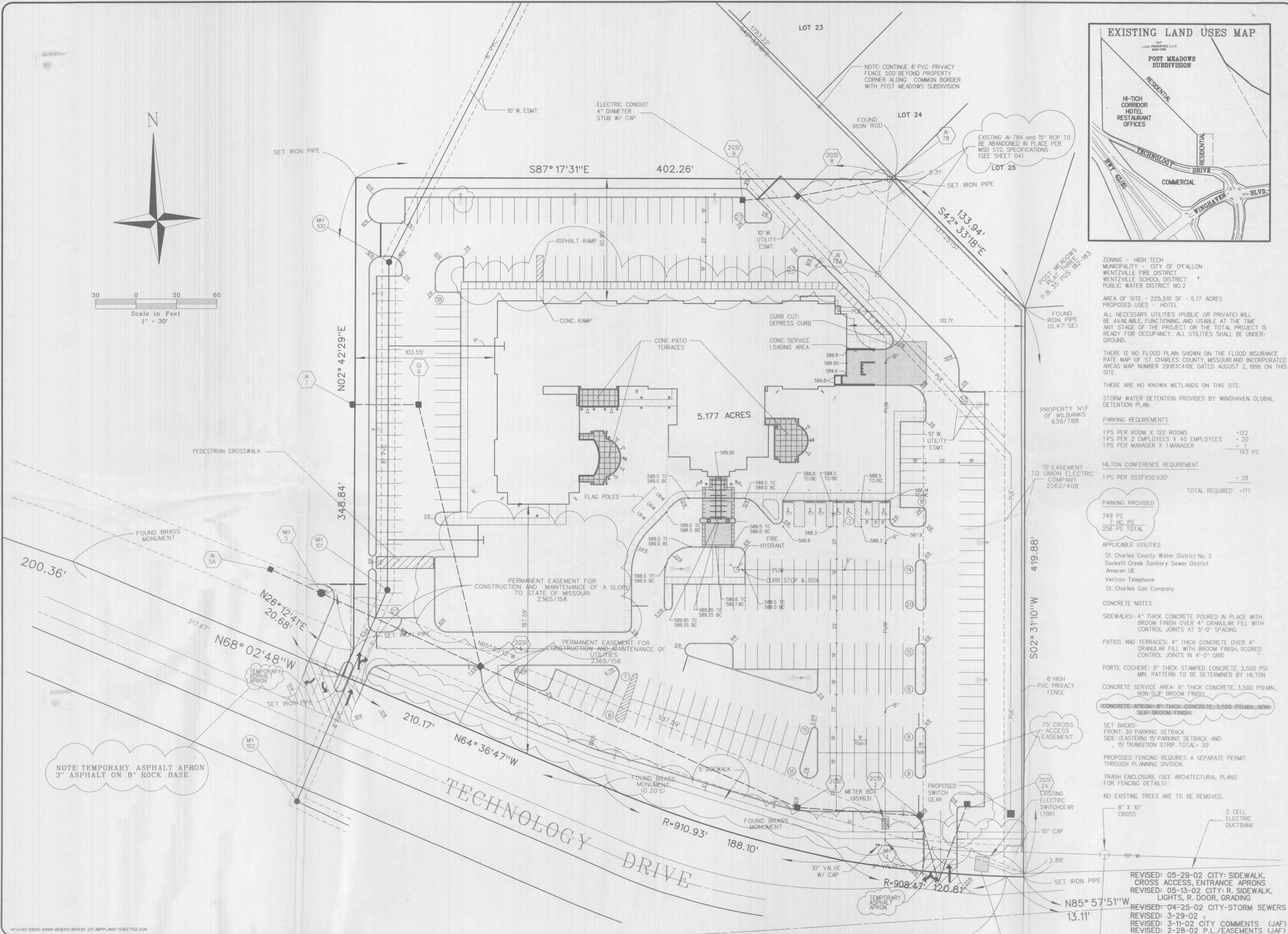
HILTON AT WINGHAVEN

SITE PLAN

Design By: JAF
Drawn By: JRS
Checked By: JAF

8/9/00-22

02-15-02
02



NOTE: TEMPORARY ASPHALT APRON 3" ASPHALT ON 8" ROCK BASE

EXISTING AI-78A and 15" RCP TO BE ABANDONED IN PLACE PER MSD STD. SPECIFICATIONS (SEE SHEET 04)

NOTE: CONTINUE 6" PVC PRIVACY FENCE 500' BEYOND PROPERTY CORNER ALONG COMMON BORDER WITH POST MEADOWS SUBDIVISION

POST MEADOWS SUBDIVISION
P.B. 35 PGS 82-183

PROPERTY N/F OF WILBANKS 639/788

15' EASEMENT TO UNION ELECTRIC COMPANY 2562/408

419.88'
S02° 31'10"W

75' CROSS EASEMENT

10" CAP

13.11'