

A SET OF CONSTRUCTION PLANS FOR HUBLER AUTO PLAZA

A TRACT OF LAND BEING ALL OF
 LOT A OF "9080 VMP PLACE"
 PLAT BOOK 45, PAGES 387-388
 BEING PART OF LOT 6 OF D. HEALDS HOME PLACE
 IN U.S. SURVEY 55
 TOWNSHIP 47 NORTH, RANGE 3 EAST
 ST. CHARLES COUNTY, MISSOURI

Utility Contacts

Sanitary Sewers
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-240-2000

Water
 Public Water Supply District No. 2
 P.O. Box 967
 O'Fallon, MO. 63366
 636-561-3737

Storm Sewer
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 636-240-2000

Electric
 Ameren Missouri
 200 Callahan Road
 Wentzville, MO. 63385
 636-639-8312

Spire Gas
 6400 Graham Road
 St. Louis, MO. 63134
 314-522-2297

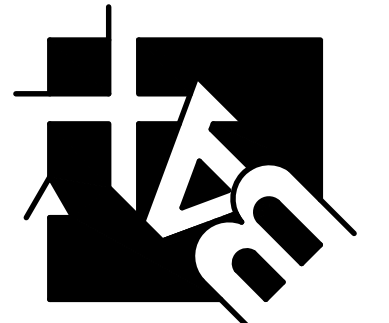
Telephone
 CenturyLink
 1151 Century Tel Dr.
 Wentzville, MO. 63385
 636-332-7261

Fire District
 O'Fallon Fire Protection District
 111 Laura K Dr.
 O'Fallon, MO. 63366
 636-272-3493

PROJECT TITLE:

HUBLER AUTO PLAZA
 DISPLAY AREA ADDITION
 9084 VETERANS MEMORIAL
 O'FALLON, MO. 63366

**ENGINEERING
 PLANNING
 SURVEYING**
 221 Point West Blvd.
 St. Charles, MO 63301
 636-928-6552
 FAX 636-928-1718

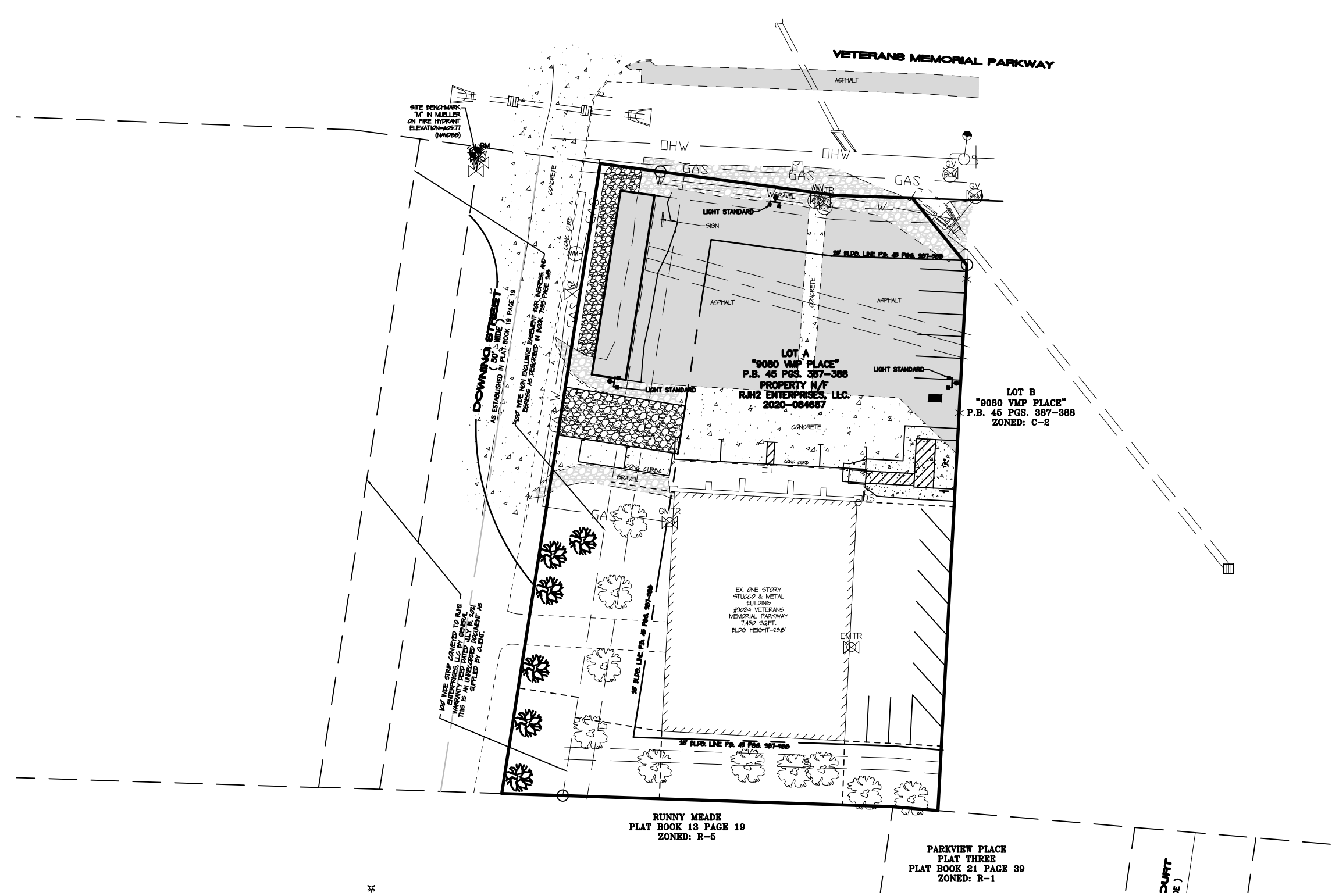


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 authenticated by my seal are limited to this sheet,
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 drawings, specifications, estimates, reports or other
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 be used for any part or parts of the architectural or
 engineering project or survey.

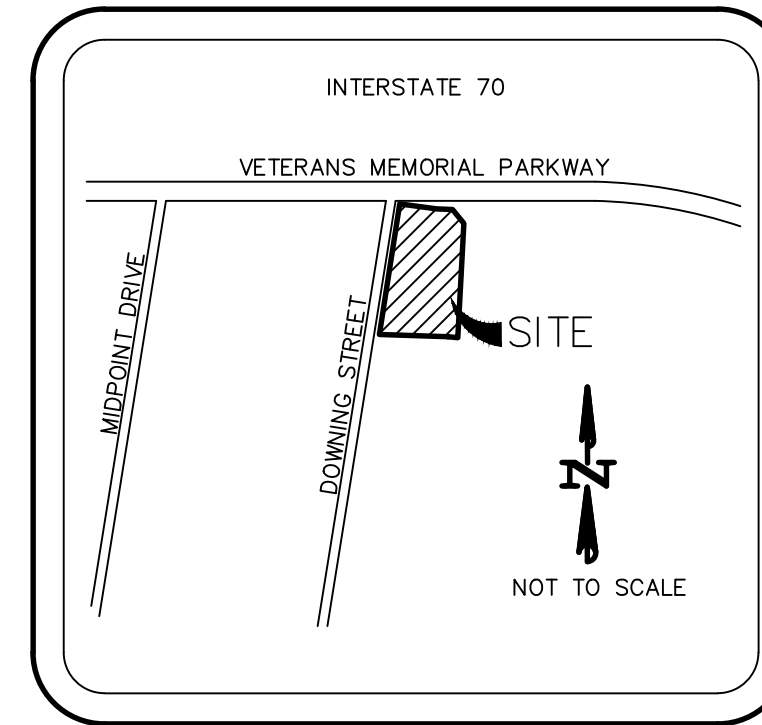
DATE: 11-16-22
 CLIFFORD L. HEITMANN
 CIVIL ENGINEER
 E2987

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REVISIONS	
8-1-22	city comments



Plan View



Locator Map

Benchmarks Project

BENCHMARK:

PROJECT COORDINATES ARE MODIFIED "MISSOURI COORDINATE SYSTEM OF 1983, EAST ZONE" COORDINATES AND WERE GENERATED BY SCALING THE COORDINATES BY THE INVERSE OF SAID GRID FACTOR (1.0000862646) ABOUT FIELD CONTROL POINT 1. THE COORDINATES WERE THEN CONVERTED TO FEET BY MULTIPLYING THE METRIC VALUES BY 3.280833333 (39.37 INCHES PER METER/12 INCHES PER FOOT).

THE GEOD UTILIZED TO OBTAIN PROJECT COORDINATES IS GIBBS.

TO THE BEST OF OUR KNOWLEDGE, THE MODIFIED MISSOURI STATE PLANE, EAST ZONE, COORDINATES MEET THE ACCURACY STANDARDS OF THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS (20 CSR 2030-16.040) AS AN URBAN CLASS SURVEY.

PROJECT ELEVATIONS UTILIZE THE NAVD 88 VERTICAL DATUM AND WERE GENERATED BY GPS OBSERVATIONS USING A CELLULAR EQUIPPED TRIMBLE R8 GNSS ROVER AND TRIMBLE TSC3 DATA COLLECTOR AND ARE BASED ON THE MISSOURI HIGHWAYS AND TRANSPORTATION COMMISSION GLOBAL NAVIGATION SATELLITE REAL TIME NETWORK FOR CONTINUOUS OPERATING REFERENCE STATIONS.

REFERENCE BENCHMARK: THE OBSERVED VERTICAL CHECK STATION UTILIZED IS LISTED ON WWW.GSNOAA.GOV AS DESIGNATION "SC-06" WITH A PID OF A48597 AND A PUBLISHED ELEVATION OF 529.00 (NAVD88).

DESCRIPTION:

DESCRIPTION BY MISSOURI DEPARTMENT OF NATURAL RESOURCES 1990: STATION, AZIMUTH MARKS AND REFERENCE TIES THE STATION IS LOCATED ON THE EAST SHOULDER OF THE NORTH BOUND LANE OF MISSOURI HIGHWAY 79 ABOUT 1/2 MILE NORTH OF I-70 IN ST. CHARLES COUNTY. IT IS 280 FT. NORTH OF THE NORTH END OF THE RAILROAD OVERPASS AT APPROXIMATE HIGHWAY 79 STATION 53752 AND ON A LINE EXTENDED FROM THE NORTHERLY FENCE ENCLOSING THE LOADING DOCKS OF WAINWRIGHT INDUSTRIES, INC., 14.82 FT (4.52 M) SE OF A COTTON PICKER SPINDLE IN THE JOINT OF THE PAVEMENT AND SHOULDER, 14.72 FT (4.49 M) NE OF ANOTHER, 12.40 FT (3.78 M) EASTERLY OF THE JOINT BETWEEN THE PAVEMENT AND SHOULDER AND 2.06 FT (0.63 M) SOUTH OF A CARSONITE WITNESS POST THE AZIMUTH MARK, SC-06 A 2, 1994 IS ABOUT 0.3 MILE (0.5 KM) SE OF THE STATION AND ON THE WEST RIGHT-OF-WAY FOR THE I-70 NORTH OUTER ROAD EAST IT IS 57.6 FT (17.6 M) WEST OF A TRAFFIC SIGN NEAR THE END OF THE CONCRETE MEDIAN, 41.6 FT (12.7 M) WEST OF THE WEST EDGE OF PAVEMENT, 1.6 FT (0.5 M) EAST OF A RIGHT-OF-WAY MARKER, AND 2 FT (0.6 M) NORTH OF A CARSONITE WITNESS POST STATION AND AZIMUTH MARK TO REACH TO REACH THE STATION FROM THE CENTER OF I-70 EXIT 220 (MISSOURI HWY 79 AND SALT LICK RD.) GO NORTH ON HWY 79 FOR 0.5 MILES (0.8 KM) TO THE STATION SITE ON RIGHT (EAST) AS DESCRIBED. TO REACH THE AZIMUTH MARK FROM THE CENTER OF I-70 EXIT 220, GO NORTH ON HWY 79 FOR 0.25 MILES (0.40 KM) TO THE I-70 NORTH OUTER ROAD EAST (TURNER AVE), TURN RIGHT AND GO EAST FOR 0.05 MILES (0.08 KM) TO POINT WHERE OUTER ROAD EAST TURNS SOUTH, TURN RIGHT AND GO SOUTH ON NORTH OUTER ROAD EAST FOR 0.05 MILES (0.08 KM) TO POINT WHERE ROAD MAINTENANCE CHANGES FROM STATE TO COUNTY AND AZIMUTH MARK ON RIGHT AS DESCRIBED. THE 1990 AZIMUTH IS STILL IN PLACE, BUT THE LINE OF SIGHT TO THE STATION IS BLOCKED BY A BUILDING. DATE OF REPORT 6-06-1995.

Site

SITE BENCHMARK (NAVD 88) - "M" IN MUELLER ON FIRE HYDRANT LOCATED NEAR NORTHWEST CORNER OF SUBJECT PROPERTY ON WEST SIDE OF DOWNING STREET (ELEVATION=605.77) AND IS LOCATED AS SHOWN HEREON.

VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A

SEEDING RATES:	
PERMANENT:	
Tall Fescue - 150 lbs./ac.	
Smooth Brome - 100 lbs./ac.	
Combined - Fescue @ 15 lbs./ac. AND Brome @ 50 lbs./ac.	
TEMPORARY:	
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)	
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)	
SEEDING PERIODS:	
Fescue or Brome - March 1 to June 1	
August 1 to October 1	
Wheat or Rye - March 15 to November 1	
Oats - March 15 to September 15	
MULCH RATES:	
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)	
FERTILIZER RATES:	
Nitrogen 30 lbs./ac.	
Phosphate 30 lbs./ac.	
Potassium 30 lbs./ac.	
Lime 600 lbs./ac. ENM*	
* ENM = effective neutralizing material as per	

LEGEND

	FLARED END SECTION		BOLLARD
	GRATED INLET		UTILITY BOX
	WATER MANHOLE		TREE STUMP
	PIPELINE MARKER		BENCHMARK
	IRRIGATION CONTROL VALVE		CONCRETE
	WATER METER		ASPHALT
	GAS VALVE		GRAVEL
	WATER VALVE		OVERHEAD UTILITIES
	FIRE HYDRANT		BURIED GAS
	DOWNSPOUT		BURIED WATER
	SIGN		BURIED TELEPHONE
	HANDICAP PARKING		SANITARY SEWER
	POWER POLE		FENCE LINE
	GUY WIRE		NEW ASPHALT
	LIGHT STANDARD		

Conditions of Approval From Planning and Zoning

1. PROVIDE A PHOTOMETRIC LIGHTING PLAN.
2. THE PARKING LOT SHALL HAVE STRIPING FOR THE PARKING OF VEHICLES. PROVIDE A STRIPING PLAN TO CONFIRM COMPLIANCE WITH CITY CODE.
3. THE ADA PARKING SPACE SHALL COMPLY WITH CITY CODE.
4. PARKING SPACES SHALL MEET THE 10 FOOT PARKING SETBACK FREESTANDING SIGNS MUST BE LOCATED WITHIN A LANDSCAPED AREA A MINIMUM OF THREE (3) FEET FROM ANY CURB, NOT WITHIN THE PARKING LOT. PLEASE NOTE THAT SIGNS ARE REVIEWED THROUGH A SEPARATE PERMITTING PROCESS.
5. A VARIANCE FOR SIGNAGE WAS APPROVED FOR THIS PROPERTY IN APRIL 2021. THE SITE PLAN SHALL COMPLY WITH THE APPROVAL CONDITION OF THAT VARIANCE REGARDING THE REPLACEMENT OF ANY REMOVED TREES.
6. PROVIDE AN EASEMENT FOR THE WATER LINE WITHIN THE ADDED 25' PROPERTY (EXTENSION OF THE EXISTING WATERLINE EASEMENT).

GRADING QUANTITIES:

60 C.Y. CUT (INCLUDES SUBGRADES)
 18 C.Y. FILL (INCLUDES 8% SHRINKAGE)
 42 C.Y. HEAVY

THE ABOVE GRADING QUANTITY IS APPROXIMATE ONLY, NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

F.I.R.M.

TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. CHARLES COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29183C02376, WITH AN EFFECTIVE DATE OF JANUARY 20, 2016.

BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN THE FOLLOWING ZONES:

- ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL AREA SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."

CITY OF O'FALLON
 ENGINEERING DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: Karl Ebert DATE 12/08/2022
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

Developer / Owner:

RJH2 ENTERPRISES
 661 KILLARY DOWN
 WELDON SPRING, MISSOURI 63304
 636-849-1010

COVER SHEET

P+Z No. #21-011773

Approval Date: 3-3-22

City No. #

Page No.

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Drawing Index

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- 4 SITE PLAN
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- 6 CONSTRUCTION DETAILS

* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31
 7:00 A.M. To 7:00 P.M. Monday Through Sunday
 June 1 Through September 30

6:00 A.M. To 8:00 P.M. Monday Through Friday
 7:00 A.M. to 8:00 P.M. Saturday and Sunday

* The area of this phase of development is 0.97 acres.

The area of land disturbance is 0.05 acres (2000 sq.ft.)

Number of proposed lots is 0.

Building setback information. Front 25 FEET

Side 0 FEET OR SAME AS ADJACENT ZONED PROPERTY IF RESIDENTIAL OR OFFICE.

Rear 0 FEET OR 10 FEET IF ADJACENT TO RESIDENTIAL OR OFFICE.

PARKING REQUIRED:

VEHICLE, SALES AND SERVICE - OUTDOOR
 ONE (1) SPACE PER 3000 SQ.FT. OF DISPLAY LOT, PLUS ONE (1) SPACE PER EMPLOYEE, PLUS ONE (1) SPACE PER 500 SQ.FT. OF SERVICE FLOOR AREA.
 DISPLAY AREA 9656.42 SQ.FT./3000 = 3.21 ~ 4 SPACES REQUIRED
 "2" EMPLOYEES @ 1 SPACE PER = "2" SPACES REQUIRED
 SERVICE FLOOR AREA 7450 SQ.FT./500 = 14.9 ~ 15 SPACES REQUIRED

TOTAL SPACES REQUIRED = 19 + "2"=21
 TOTAL SPACES PROVIDED = 21 PARKING SPACES INCLUDING 1 ACCESSIBLE SPACE.

CALL BEFORE
 YOU DIG!
 1-800-DIG-RITE



*FIBER OPTICS ARE PRESENT

City approval of any construction site plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.

All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.

Lighting values will be reviewed on site prior to the final occupancy inspection.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.