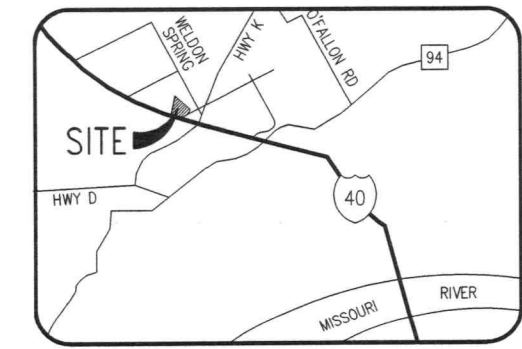


CURVE INFORMATION

PI	491+36.06
PC	485+64.28
PT	495+94.68
Δ	61°49'26.1" (LT)
D	6'00'00.0"
L	1,030.40'
T	571.78'
R	954.93'
S	4%



LAYOUT AND PAVEMENT PLAN

Owner/Developer

CIP, LLC
205 N. WILLIAMSBURG DR.
SUITE F
BLOOMINGTON 61704
PH 309-662-0055 FAX 309-662-1622

Site Information

BUILDING AREA	8,354 S.F.	10.11%
LANDSCAPE AREA	22,900 S.F.	27.33%
PARKING LOT - SIDEWALKS/CONCRETE PAVING	51,349 S.F.	62.16%
TOTAL GROSS AREA	82,600 S.F.	100%
SITE COVERAGE:	MAXIMUM ALLOWED:	ACTUAL:
BUILDING	50%	10.11%
IMPERVIOUS	85%	72.27%
ZONING:	C-2/PUD GENERAL BUSINESS DISTRICT	
Setbacks:	FRONT YARD 25 FEET SIDE YARD 0 FEET REAR YARD 0 FEET	

Parking Required

RESTAURANT	20 SPACES =	20
MINIMUM REQUIREMENT	= 20 SPACES =	84
FLOOR AREA	= 8,354 S.F. @ 1 SPACE / 100 S.F. =	7
PLAZA AREA	= 700 S.F. @ 1 SPACE / 100 S.F. =	7
SUBTOTAL		111
BICYCLE 1 PER 15 AUTOMOBILES	104/15 =	7
LOADING SPACE =	1	
HANDICAP =	4	

The Entire Property Lies Within The Following Districts:

- SCHOOL DISTRICT: FRANCIS HOWELL
- FIRE DISTRICT: COTTLEVILLE COMMUNITY FIRE DISTRICT
- WATER DISTRICT: PUBLIC WATER DISTRICT NO. 2
- SEWER DISTRICT: DUCKETT CREEK SANITARY SEWER DISTRICT

Outboundary and Topographic Survey By

FARNSWORTH GROUP
20 ALLEN AVE. SUITE 200
ST. LOUIS, MISSOURI 63119
PHONE 314-962-7900 FAX: 314-962-1253
COMPLETED: 5/03

Parking Provided

PARKING PROVIDED	107
STANDARD SPACES (9'x19' @90°)	4
HANDICAP ACCESSIBLE SPACES (9'x19')	111
LOADING SPACE (12'x35')	1
BICYCLE (10@6°)	7

Equipment Screening Note

ALL HVAC AND MECHANICAL UNITS ON SITE TO BE BY PARAPET WALLS AND GROUND MOUNTED UNITS SCREENED WITH LANDSCAPING.

Keyed Notes

- NEW PAINTED STRIPES. REFER TO DETAIL ON SHEET C-4.
- OBTERATE EXISTING PAINTED STRIPPING AS SHOWN.
- NEW PAINTED HANDICAP SYMBOL. REFER TO DETAIL ON SHEET C-4.
- NEW CONCRETE PAVEMENT ACCESS TO BUILDING FOR SUPPLIES.
- NEW MOULAR BLOCK RETAINING WALL. REFER TO DETAIL ON SHEET C-4.
- PROVIDE GUARDRAIL WHEN WALL EXCEEDS 4' IN HEIGHT REFER TO DETAIL ON SHEET C-4.
- NOT USED.
- NEW ASPHALTIC CONCRETE PAVEMENT. REFER TO DETAIL ON SHEET C-4.
- NEW CONCRETE HANDICAP ACCESSIBLE RAMP WITH DETECTABLE WARNING STRIP. REFER TO DETAIL ON SHEET C-4.
- NEW BICYCLE STAND.
- NOT USED.
- NEW CONCRETE RAMP. REFER TO DETAIL ON SHEET C-4.
- NEW "HANDICAP ACCESSIBLE PARKING" AND FINE SIGN. REFER TO DETAIL ON SHEET C-4.
- NEW CONCRETE VERTICAL CURB. REFER TO DETAIL ON SHEET C-4.
- NEW TURNED DOWN CONCRETE WALK. REFER TO DETAIL ON SHEET C-4.
- NEW OR EXISTING LANDSCAPE AREA. REFER TO LANDSCAPING PLAN.
- NEW METAL HANDRAIL. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.
- SANICUT REMOVE AND REPLACE EXISTING PAVEMENT AS REQUIRED FOR NEW WATER LINE CONSTRUCTION.
- NEW CONCRETE STAIR. REFER TO DETAIL ON SHEET C-5.
- NEW OUTDOOR SEATING AREA. REFER TO ARCHITECTURAL PLAN FOR DETAILS.
- NEW CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET C-4.
- NEW 20'x40' TRUCK WASHDOWN AREA. REFER TO DETAIL ON SHEET C-5.

General Notes

- ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
- ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
- IMPROVEMENTS ARE GENERALLY PARALLEL AND PERPENDICULAR TO THE NORTH PROPERTY LINE.
- ALL MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE SITE IMPROVEMENT CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF THE CITY OF O'FALLON, MO.
- ALL DISTURBED AREAS SHALL BE RESTORED WITH SOO.
- EXISTING UTILITIES SHOWN HEREON ARE FROM INFORMATION PROVIDED BY UTILITY COMPANIES AND PAST CONSTRUCTION DOCUMENTS AND MUST BE CONSIDERED AS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS PRIOR TO COMMENCING WORK.
- NO SLOPES SHALL EXCEED 3:1.
- NO ON SITE ILLUMINATION SOURCE SHALL BE SITUATED SO THAT LIGHT IS CAST DIRECTLY ON ADJOINING PROPERTIES OR PUBLIC ROADWAYS. LIGHT POLES AND FIXTURES TO MATCH ADJACENT FIXTURES IN STYLE AND COLOR.
- BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN) PER FLOOD INSURANCE RATE MAP, (FIRM) COMMUNITY PANEL NUMBER 291830430 E (PANEL 430 OF 525), DATED AUGUST 2, 1996.
- ALL NEW UTILITIES WILL BE PLACED UNDERGROUND.
- ALL CURB CUTS WILL CONNECT TO EXISTING PAVEMENT IN THE INGRESS/EGRESS EASEMENTS.
- ALL UTILITIES SHALL BE FUNCTIONING PRIOR TO OCCUPANCY.
- ALL SITE UTILITY EASEMENTS FOR ALL SANITARY SEWER AND WATER LINES ARE EXISTING AND DEDICATED TO APPROPRIATE AGENCIES.
- STORMWATER DETENTION IS PROVIDED BY MEANS OF THE EXISTING BASIN.
- NO PARCELS, LOT, BUILDING OR STRUCTURE WILL BE USED OR OCCUPIED IN ANY MANNER TO CREATE ANY DANGEROUS, INJURIOUS, NOXIOUS, OR OTHERWISE OBJECTIONABLE ELEMENT OR CONDITION SO AS TO ADVERSELY AFFECT THE SURROUNDING AREA OR ADJOINING PREMISES, AND ACCEPTABLE LIMITS ESTABLISHED BY THE PERFORMANCE STANDARDS INDENTIFIED IN SECTION 400.520 THROUGH 400.560.
- PRIOR TO CONSTRUCTION SITE PLAN APPROVAL A PHOTOMETRIC LIGHTING PLAN IN ACCORDANCE WITH THE CITY'S EXTERIOR LIGHTING STANDARDS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL FOR ALL PROPOSED EXTERIOR LIGHTING.
- ALL WALL MOUNTED ELECTRICAL PANELS AND GAS METERS WILL BE PAINTED THE SAME COLOR AS THE BUILDING.
- THE PROPOSED FINAL PLAN IS IN CONFORMANCE WITH THE CITY'S COMPREHENSIVE PLAN.
- ALL IMPROVEMENTS SHOWN HALF TONE ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
- ALL NEW PAVING TO BE IN ACCORDANCE WITH ST. CHARLES CO. STANDARDS AND SPECIFICATIONS.
- EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
- NEW SIDEWALKS, CURB RAMP, RAMP AND ACCESSIBLE PARKING SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT APPROVED "AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" ALONG WITH THE REQUIRED GRADES, CONSTRUCTION MATERIALS, SPECIFICATIONS AND SIGNAGE. IF ANY CONFLICT OCCURS BETWEEN THE ABOVE INFORMATION AND THE PLANS, THE ADAAG GUIDELINES SHALL TAKE PRECEDENCE AND THE CONTRACTOR PRIOR TO ANY CONSTRUCTION SHALL NOTIFY THE ENGINEER.
- LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY.
- PHOTOMETRIC PLAN HAS BEEN PROVIDED WITH THE PREVIOUSLY APPROVED PLANS.
- ALL REQUIREMENTS OF THE PLANNING AND ZONING COMMISSION HAVE BEEN ADDRESSED.
- THE LOT HEREBY MADE IS SUBJECT TO THE INDENTURES OF TRUST AND DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIONS AND RECORDED IN BOOK 3922 PAGE 2347 OF THE ST. CHARLES COUNTY RECORDS.

Sheet Index

- SUB-1 RECORD PLAT
- C-1 LAYOUT AND PAVEMENT PLAN
- C-2 GRADING AND DRAINAGE PLAN
- C-2A CITY GRADING AND DRAINAGE PLAN
- C-3 SEWER AND UTILITY PLAN
- C-4 SITE DETAILS
- C-5 SITE DETAILS
- C-6 LANDSCAPE PLAN
- DA-1 DRAINAGE AREA MAP (EXISTING CONDITIONS)
- DA-2 DRAINAGE AREA MAP (PROPOSED CONDITIONS)



Governing Agency

CITY OF O'FALLON, MO
100 NORTH MAIN STREET
O'FALLON, MO 63366
MR. JIM TRESLER
PHONE 636-379-5540

Abbreviations and Legend

EXISTING AREA LIGHT	N	NORTH
EXISTING ELECTRIC PEDESTAL	S	SOUTH
EXISTING STORM SEWER STRUCTURE	E	EAST
EXISTING FIRE HYDRANT	W	WEST/WIDE
EXISTING STORM MANHOLE	FL	FLOW LINE
EXISTING SANITARY MANHOLE	STM/ST	STORM
EXISTING SIGN	SAN/SA	SANITARY
EXISTING TRANSFORMER	MH	MANHOLE
EXISTING LANDSCAPING	PB	PLAT BOOK
EXISTING POWER POLE	DB	DEED BOOK
EXISTING CLEAN OUT	PG	PAGE
EXISTING WATER VALVE	ESMT	EASEMENT
EXISTING GAS VALVE	R/W	RIGHT OF WAY LINE
EXISTING GAS METER	IP	IRON PIPE
EXISTING HANDICAP PARKING MARKER	EX	EXISTING
EXISTING FIRE DEPARTMENT CONNECTION		
NUMBER OF PARKING SPACES		
KEYED NOTE DESIGNATOR		

New Lot Property Description:

ALL OF LOT 2 OF PERSIMMON POINTE, HOTEL DEVELOPMENT AS RECORDED IN PLAT BOOK #1 PAGE 79 OF THE ST. CHARLES COUNTY RECORDS.

NEW ASPHALT BY OTHERS	NEW ASPHALT	NEW CONCRETE
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552	FINISH CONTOUR AS BUILT
70	EX FIBER OPTIC LINE
70	EX OVERHEAD ELECTRIC
70	EX SANITARY SEWER WITH SIZE
70	EX STORM SEWER WITH SIZE
70	EX WATER LINE WITH SIZE

PROJECT:
JBUCK'S RESTAURANT

LOT 2
PERSIMMON POINTE

1165 TECHNOLOGY DR
O'FALLON, MO

Date: 06/28/05

Design/Drawn: JPB

Approved: JTB

Book No.:

SHEET TITLE:

LAYOUT AND PAVEMENT PLAN

RECEIVED SEP 01 2005 ENGINEERING DEPARTMENT

SHEET NUMBER:

C-1

SHEET 1 OF 9

Project No.: 299163.20