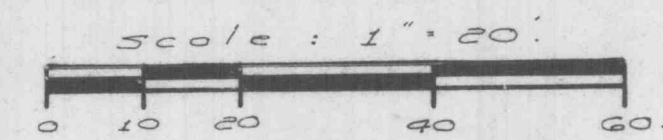
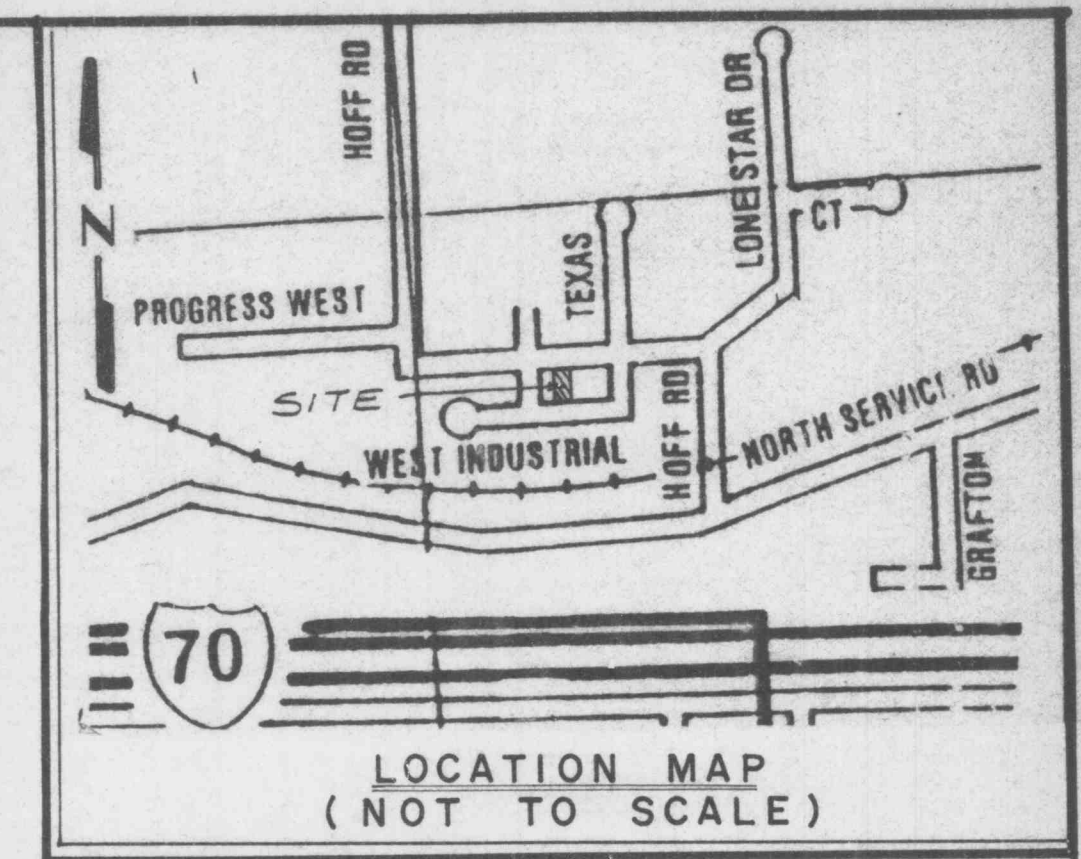


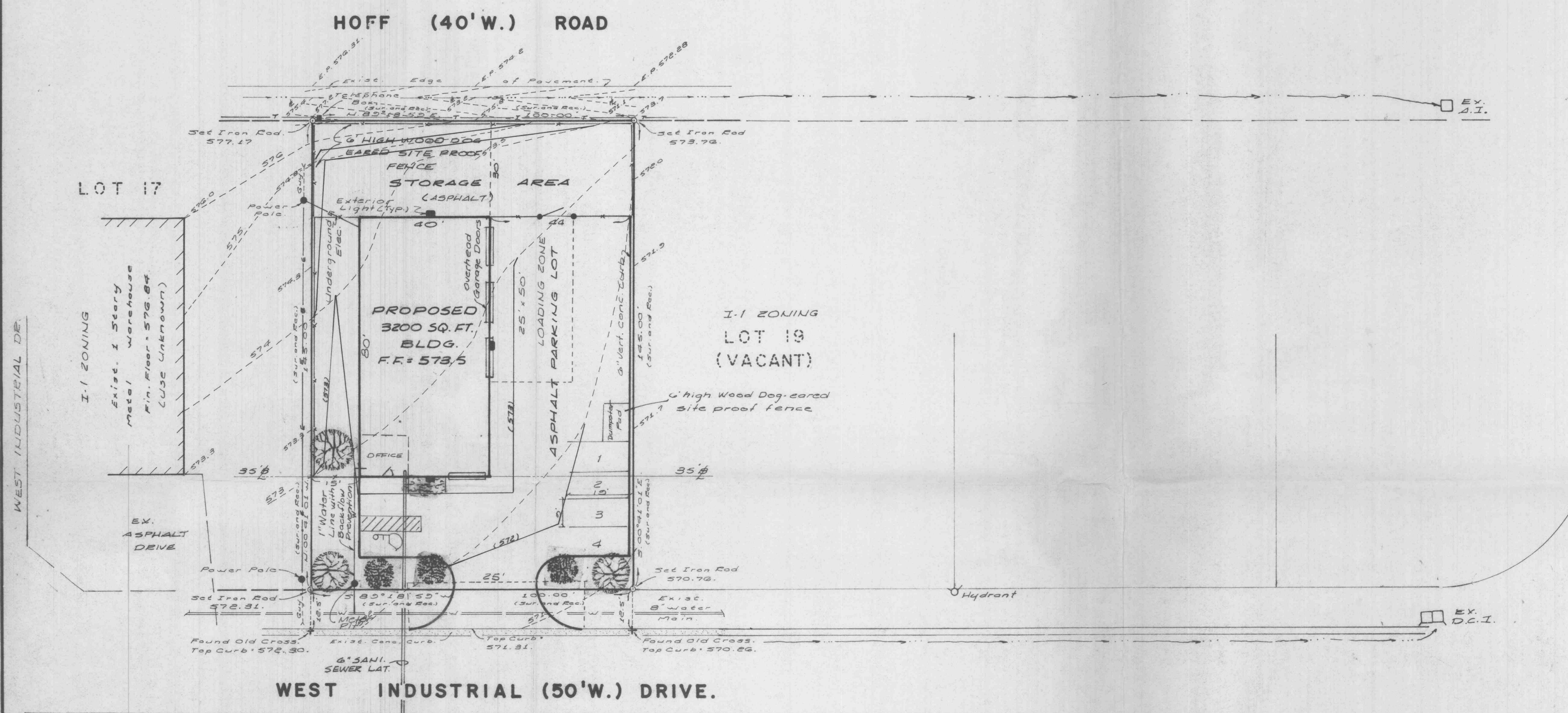
**LOT 18**  
**RESUBDIVISION OF CHARLESTOWN WEST INDUSTRIAL PARK**  
**PART OF SECTION 25, TWP. 47N., RGE. 2E., CITY OF O'FALLON, ST. CHARLES CO., MO.**

**J & R LANDSCAPING**



I-1 ZONING

NOTE: NO DRIVEWAYS ON NORTH SIDE OF HOFF RD.



- GENERAL NOTES:**
- CURRENT OWNER: Ryan C. Hunt  
22 Holloway Dr.  
Lake St. Louis, Mo. 63367  
314-561-2539
  - DEVELOPER: SAME
  - CURRENT ZONING IS I-1: Light Industrial, Minimum Setbacks: Front-30 Ft., Side-20 Ft., Rear-35 Ft.
  - Utilities Serving Site:  
Telephone-C.T.E.  
Electric-Union Electric  
Gas-Laclede Gas  
Water-Public Water District No. 2  
Sewer-City of O'Fallon
  - Proposed use of building will be for storage of yard maintenance and landscaping equipment.
  - Parking Requirements:  
A. One space per employee plus one space per 400 Sq. Ft. of gross office area.  
B. Gross office area= 180 Sq. Ft.  
C. Number of Employees=3  
D. Spaces Required=4  
E. Spaces Provided=5
  - Tree requirements: One tree required for each 40 feet of road frontage. There is 200 ft. of road frontage requiring 5 trees. Also, one tree is required for each 3000 sq. ft. of open area. There is 1600 sq. ft. of open area requiring one tree.
  - Site coverage calculations:  
A. Building=22%  
B. Asphalt=41%  
C. Open Space=16%  
D. Gravel=21%
  - This site is not in a flood plain per firm 29183CO 230E, Dated August 2, 1996.
  - Owner will comply with Art. 26
  - Lighting is to be 150-400 watt wall packs.
  - The owner will make a contribution to the storm water detention fund in lieu of a detention basin.
  - A variance will requested for a 15 foot side yard and a 30 foot rear yard.

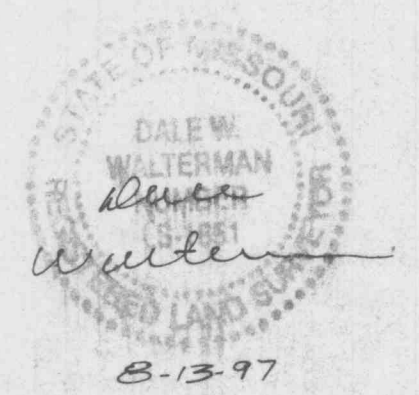
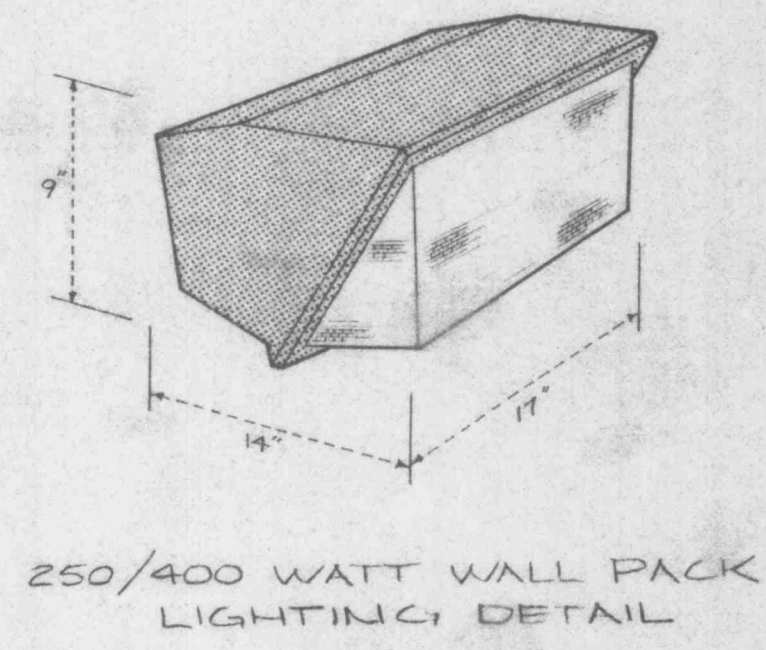
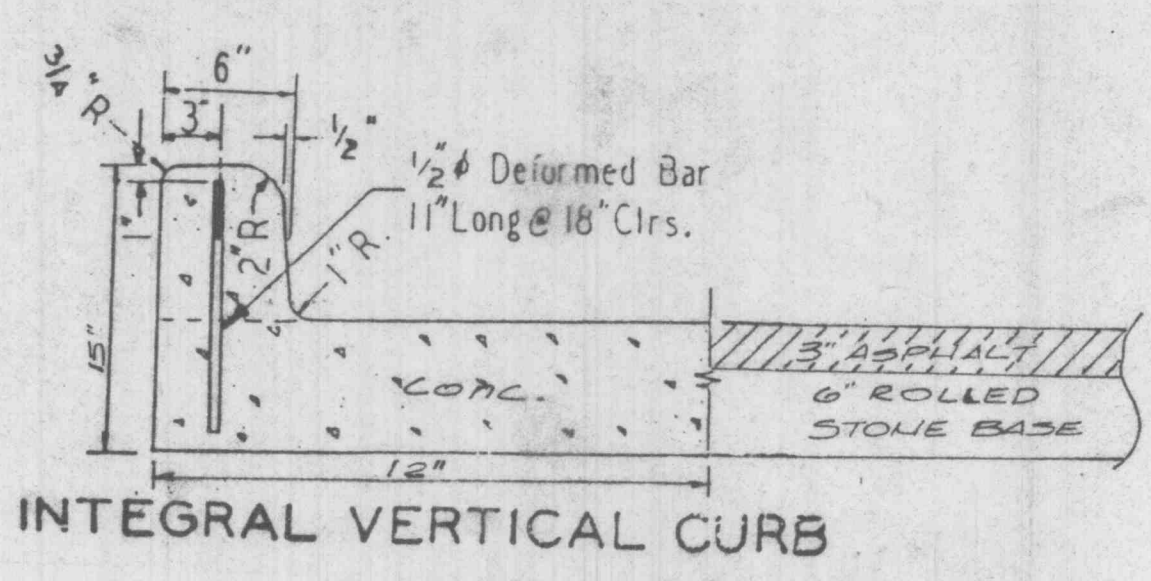
I-1 ZONING  
 EXPRESS CLEANERS, INC.  
 BENDERLOCK FLOORING SUPPLY

LANDSCAPING LEGEND

SYMBOL	NAME	QUANTITY
	RED MAPLE	3
	FLOWERING CRAB	3
	GOLDEN VICARY	2
	RED BAYBERRY	1

DW 11-5-97

- Provide TRASH enclosure detail.
- A 25' temporary construction easement is needed in relation to the Hoff Road widening.
- suggest a window be provided along front or side elevations.



File  
**APPROVED**  
 Joan Callup  
 11/6/97

Landmark Surveying & Engineering, Inc.  
 802 E. Main, Wentzville, MO 63385  
 327-9853 • 332-9190  
 Troy: 528-5452

**SITE PLAN**

Drawn: <i>DW</i>	Date: 7-23-97
Chk.: <i>DW</i>	Date:
Rev: <i>DW</i>	Date: 8-3-97