PROJECT MOTE/

- 1. Area of Site: 0.51 Acres.
- 2. Present Zoning Classification: "C-2" General Business District
- 3. Proposed Land Use: Multi-family Residential C.U.P. requested.
- 4. This Site is served by the following utilities:

City of O'Fallon 636-240-2000 Sanitary Sewer: City of O'Fallon 636-240-2000 800-522-7583 Electric: AmerenUE SpireGas Company 800-887-4173 800-464-7928 Telephone: CenturyLink 800-211-4450 Cable: Charter Communications

This Site is located in the following service areas:

636-272-3493 Fire Protection: O'Fallon Fire Protection District School District: Fort Zumwalt R-2 School District 636-240-2072

6. The following Height and Area Requirements pertain to this site:

Minimum Building Front Yard Setback: Minimum Building Side Yard Setback: Minimum Building Rear Yard Setback: 0 feet Maximum Building Height: 50 feet

- The required number of off-street parking spaces for this site is 20, of which 8 spaces must be covered, calculated at 2.5 parking spaces per unit.
- The number of off-street parking spaces provided for this site is 21 spaces, of which 8 spaces are covered (garage) and 8 are in the driveways.
- 9. City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31 7:00 A.M. to 7:00 P.M. Monday through Sunday <u>June 1 through September 30</u> 6:00 A.M. to 8:00 P.M. Monday through Friday 7:00 A.M. to 8:00 P.M. Saturday & Sunday.

- 10. Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the
- 11. All construction procedures and materials shall conform to the current City of O'Fallon standards
- 12. This site is not located in the 100-year flood plain. FIRM Map 29183C0237 G, revised January 20, 2016.
- 13. Sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibilty Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage.
- 14. All siltation control devices shall follow St. Charles County Soil and Water Conservation District Erosion and Sediment Control guidelines.
- 15. All proposed fencing requires a seperate permit through the Building Division.
- 16. All sign locations and sizes must be approved separately through the Planning Division.
- 17. All proposed utilities to be underground.
- 18. Water lines to comply with City of O'Fallon standards.
- 19. All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, he/she shall make such changes at his/her own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspectors.
- 20. Stormwater cleansing will be determined on the Construction Plans and comply to Section 405.245 of the City Code.
- 21. No graded slopes shall exceed 3:1 maximum.
- 22. Proposed Site Coverage:

0.32 Ac. (62.7%) Pavement/Building:

- 23. Lighting to complywith Section 400.298 of the City Codes.
- 24. Lighting values will be reviewed on site prior to the final occupancy inspection.
- 25. City approval of any construction plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.
- 26. A full-time representative with appropriate skills, training and experience to operate and/or maintain a multi-family development will be provided per Section 400.298 of the City Code.
- 27. Current property owners:
 - 125 Joseph Trust 1278 Jungermann Road, Suite F Saint Peters, MO 63376 636-262-4473
- 28. All HVAC and mechanical units on site shall be screened as required by City Code.
- 29. All retainaining wall placement and construction to meet Section 405.275 of the City Code.

30. The estimated sanitary flow is 2,295 gallons per day.

EARTHWORK

1,592 CU. YD. (DOES NOT SHRINKAGE)
1,245 CU. YD. SHORT

THE ENGINEER HAS CALCULATED THE ABOVE QUANTITIES OF EARTHWORK, TO BE REGARDED AS STRICTLY AN ESTIMATE, AND NOT A GUARANTEE, OF THE BULK MOVEMENT AND REDISTRIBUTION OF SOILS ON THIS SITE. THE OWNER AND OR ANY CONTRACTORS PREPARING BIDS FOR EARTH-WORK ON THIS PROJECT ARE NOTIFIED THAT THE ABOVE-LISTED QUANTITIES CONSIDER ONLY THE VARIATIONS BETWEEN EXISTING AND PROPOSED GRADES, BASED UPON THE HORIZONTAL AND VERT-ICAL LOCATIONS OF THE IMPROVEMENTS AS SHOWN UPON THESE PLANS, AND NO ATTEMPT HAS BEEN MADE BY THE ENGINEER TO IDENTIFY, WITHIN THE ABOVE LISTED QUANTITIES, OTHER WORK ITEMS THE CONTRACTOR MAY BE REQUIRED TO PERFORM, INCLUDING BUT NOT LIMITED TO: STRIPPING, REMOVAL, STOCKPILING OR REDISTRIBUTION OF TOPSOIL: VOLUMETRIC LOSS DUE TO CLEARING AND GRUBBING OPERATIONS; EXCAVATION AND REPLACEMENT FOR EXPANSIVE, SOFT OR OTHER MATERIALS THAT MAY BE CONSIDERED "UNSUITABLE" FOR USE ON THIS PROJECT: THE REDISTRIBUTION OF EXCESS EXCAVATED MATERIALS GENERATED FROM THE INSTALLATION OF MIS-CELLANEOUS UNDERGROUND IMPROVEMENTS INCLUDING SEWER LINES, WATER LINES, UTILITY SERVICES AND MANHOLES, PROCESS AND TRANSFER LINES, BUILDING FOOTINGS, FOUNDATIONS, PIERS, STORAGE TANKS, CURBING, WALKS AND OTHER STRUCTURES, UNLESS SPECIFICALLY LISTED ABOVE AS HAVING BEEN CALCULATED BY THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR GRADING COST COST OVERRUNS DUE TO CHANGE IN SHRINKAGE FACTORS, TOPOGRAPHIC VARIATIONS, OR EXCESS EXCAVATED MATERIALS. THE GRADING CONTRACTOR SHOULD PREPARE HIS BID UPON THE BASIS THAT HE IS RESPONSIBLE FOR COMPLETING THE EARTHWORK TO THE FINISH GRADES SHOWN UPON THE DRAWINGS, IRREGARDLESS OF THE ENGINEER'S CALCULATIONS AS TO THE RELATIVE BALANCE

MoDNR LAND DISTURBANCE PERMIT NO .: NOT REQUIRED (LESS THAN AN ACRES OF DISTURBANCE)

22,219.74 S.F. Ex. Bldg., Walks & Pvmt. 7,405.20 S.F. Ex. Grass/Trees Area: 14,814.54 S.F % of Greenspace: 66.67% Prop. Bldg., Walks & Pvmt. 14,529.41 S.F. Prop. Grass/Trees: 7,690.33 S.F. % of Greenspace:

GREEN/PACE CALCULATION/

34.61%

1 Tree / 50' of street frontage; 187.5'/50' = 4 trees for frontage 5 street trees provided

4 spaces \times 270 s.f. = 1080 s.f. $1080 \times 6\% \text{ min} = 65 \text{ s.f. min.}$ 84 s.f. planting area provided 2 trees provided 17 shrubs provided

LANDSCAPE CALCIS

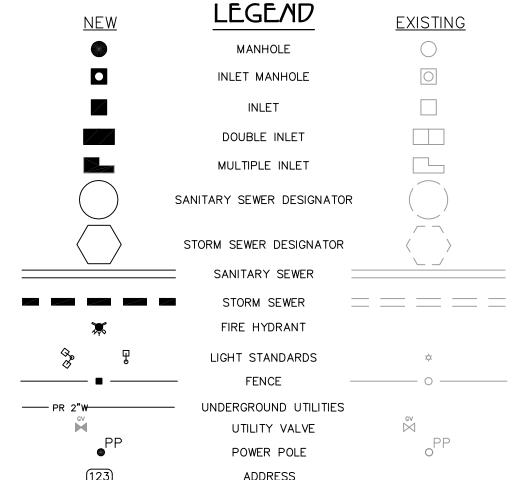
CERCIS CANADENSIS COLTADERIA SELLOANA JUNIPERUS x PFITZERIANA "DAUB'S FROSTED" HAPPY RETURNS DAYLILY HEMEROCALLIS HYBRID

"HAPPY RETURNS"

PLUG 18" O.C. 2 EA. 5 GAL. 6 EA. 1 GAL. 4 EA.

6' TALL 5 EA.

LANDSCAPE LEGEND



ADDRESS

Conditions of Approval From Planning and Zoning and/or City Council

PLANNING & ZONING: (18-012179) APPROVED: JAN. 3, 2019 CITY COUNCIL: (18-012331) APPROVED: JAN 24, 2019 CONDITIONS;

CONDITIONAL USE PERMIT

1. A maximum of eight (8) units can be constructed on the site.

SITE PLAN;

1. If the residential units are planned to be sold in the future, a Preliminary Plat will be required. 2. Provide the floor plans for the development to verify the parking requirements that are based on the number of bedrooms. 3. Per Section 400.298, multi-family housing shall provide a full-time representative to operate and maintain the property. The section also requires amenities. This information shall be provided with the Construction Site Plans.

4. The location of the sidewalk will need to be reviewed and approved on the Construction Site Plans. 5. Provide ADA access to the mailbox kiosk as reviewed and approved on the Construction Site Plans.

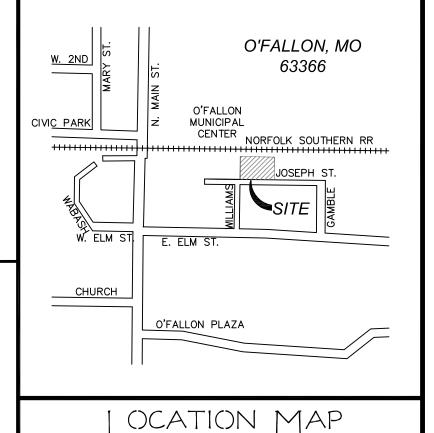
8. Extend the water main to the east property line.

6. Extend the street widening to the property and then taper it to the existing pavement. 7. The applicant shall abide by the municipal code requirements listed in this report.

CITY OF O'FALLON COMMUNITY DEVELOPMENT DEPARTMENT

ACCEPTED FOR CONSTRUCTION BY: <u>Jeannie Greenlee</u> DATE <u>06/05/2019</u> PROFESSIONAL ENGINEER'S SEAL

INDICATES RESPONSIBILITY FOR DESIGN



SHEET INDEX

COVER SHEET 2 NOTES

SITE/GRADING PLAN 4 DRAINAGE AREA MAP

DETAILS DETAILS

DETAILS

8 DETAILS DETAILS

REFER TO ARCHITECTURAL PLANS BY BART BERNEKING DESIGN + BUILD FOR ADDTIONAL BUILDING INFORMATION.

REFER TO RETAINING WALL PLANS BY ROSCH COMPANY FOR STYLE, DESIGN, SPECIFICATIONS,

Utility Contacts

<u>Sanitary Sewers</u> City of O'Fallon 100 N. Main St. O'Fallon, MO. 63366 Contact: 636-281-2858

<u>Water</u>

City of O'Fallon 100 N. Main St. O'Fallon, MO. 63366 Contact: 636-281-2858

Storm Sewer City of O'Fallon 100 N. Main St. O'Fallon, MO. 63366 636-281-2858

<u>Electric</u>

Ameren UE 200 Callahan Road Wentzville, MO. 63385 636-639-8312

Spire. Inc.

<u>Gas</u>

6400 Graham Road St. Louis, MO. 63134 314-522-2297

<u>Telephone</u> Century Link 2342 Technology Drive

O'Fallon, MO. 63368 636-445-7052

Fire District

O'Fallon Fire Protection District 111 Laura K Drive O'Fallon, MO, 63366 636-272-3493

School District Fort Zumwalt School District 555 E. Terra Lane O'Fallon, MO. 63366 636-240-2072

> CITY OF O'FALLON File #: 19-000810 Permit #: CSP19-000004 P & Z #: 18-012179

DIG-RITE TICKET #'s: 182832698 (JOSEPH STREET)



1-800-344-7483 or 811

Call Before you DIG

MISSOURI ONE-CALL SYSTEM INC.

Inderground facilities, structures and utilities have been platted from available surveys, records and information, and therefore, do not necessarilly reflect the actual existence, non-existence, size, type, number of, or ocation of these facilities, structures and utilities. The Contractor shall be responsible for verifying the actuall location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

1. SANITARY CONNECTION: NEW SANITARY LATERAL TO FLOW BY GRAVITY TO PROPOSED MAIN EXTENSION MAIN ALONG JOSEPH STREET.

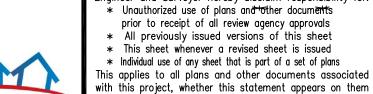
DRAINS TO SHEET FLOW FROM SITE. 4. ELECTRICAL CONNECTION: NEW ELECTRICAL SERVICE LINE TO RUN UNDERGROUND FROM

UTILITY COMMMECTIONS

2. WATER CONNECTION: NEW WATER SERVICE LINE TO CONNECT TO NEW MAIN EXTENSION 3. STORM SEWER CONNECTION: NO STORM SEWER IS NEEDED FOR NEW BUILDING. ROOF

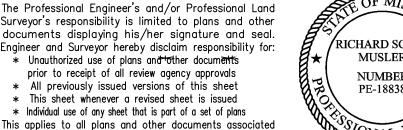
EXISTING POWER POLE ALONG JOSEPH STREET. 5. GAS CONNECTION: ANY GAS SERVICE REQUIRED FOR NEW BUILDING WILL CONNECT TO EXISTING SPIRE GAS MAIN ALONG JOSPEH STREET

(NOTE: ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND)



StCharlesRent

of the main track, Elev. = 542.80.



CONSTRUCTION PLANS FOR Joseph Street

Townhomes Phase Two

A TRACT OF LAND BEING DART OF

SECTION 21, TOWNSHIP 47 NORTH, RANGE 3 EAST,

CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

Site Benchmark

SITE BENCHMARK: An old iron pipe at the southwest corner of 125 Joseph

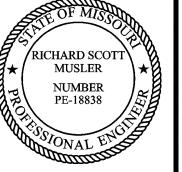
Street, Elevation: 541.50.

PROJECT BENCHMARK: F 149 — A standard disk, stamped "F 149 1935" and set in the top

of a concrete post projecting 6 inches above ground, located on the Wabash Railroad,

one block east of the station, in the southeast corner of the St. Mary Institute yard,

40 feet east of the center of a street crossing, and 45 feet north of the centerline



125 Joseph Trust 1278 JungermannRoad, Suite F St. Peters, MO 63376 636-262-4473 N/A Mr. Paul James

paul@stcharlesrent.com

No. Date Revision/Issue 1 3-19-19 Rev. per City comments 02-26-19 2 | 4-17-19 | Rev. per City comments 04-11-19

Joseph Street Townhomes Phase Two Cover Sheet

MUSLER ENGINEERING COMPANY

32 PORTWEST COURT * SAINT CHARLES, MISSOURI 63303-5985

PHONE: 636-916-0444 * FAX: 636-916-3444

CIVIL ENGINEERING - PLANNING - LAND SURVEYING

Checked: roj Manager: Original Issue Date Nov., 2018 oject No. 18-1492

CERTIFICATE OF AUTHORITY: ENGINEERING: E-1230-D, LAND SURVING: LS-284-D

City Council #: 18-012331 City/County Job No: