

PROJECT NOTES

- Area of Site: 0.51 Acres.
- Present Zoning Classification: "C-2" General Business District
- Proposed Land Use: Multi-family Residential - C.U.P. requested.
- This Site is served by the following utilities:

Water:	City of O'Fallon	636-240-2000
Sanitary Sewer:	City of O'Fallon	636-240-2000
Electric:	AmerenUE	800-522-7583
Gas:	SpireGas Company	800-887-4173
Telephone:	CenturyLink	800-464-7928
Cable:	Charter Communications	800-211-4450
- This Site is located in the following service areas:

Fire Protection:	O'Fallon Fire Protection District	636-272-3493
School District:	Fort Zumwalt R-2 School District	636-240-2072
- The following Height and Area Requirements pertain to this site:

Minimum Building Front Yard Setback:	25 feet
Minimum Building Side Yard Setback:	0 feet
Minimum Building Rear Yard Setback:	0 feet
Maximum Building Height:	50 feet
- The required number of off-street parking spaces for this site is 20, of which 8 spaces must be covered, calculated at 2.5 parking spaces per unit.
- The number of off-street parking spaces provided for this site is 21 spaces, of which 8 spaces are covered (garage) and 8 are in the driveways.
- City of O'Fallon Construction work hours per City Ordinance 3429 as shown in Section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31	7:00 A.M. to 7:00 P.M.	Monday through Sunday
June 1 through September 30	6:00 A.M. to 8:00 P.M.	Monday through Friday
	7:00 A.M. to 8:00 P.M.	Saturday & Sunday.
- Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to any grading or construction of the improvements.
- All construction procedures and materials shall conform to the current City of O'Fallon standards.
- This site is not located in the 100-year flood plain. FIRM Map 29183C0237 G, revised January 20, 2016.
- Sidewalks, curb ramps, ramp and accessible parking spaces shall be constructed in accordance with the current approved "American with Disabilities Act Accessibility Guidelines" (ADAAG) along with the required grades, construction materials, specifications and signage.
- All siltation control devices shall follow St. Charles County Soil and Water Conservation District Erosion and Sediment Control guidelines.
- All proposed fencing requires a separate permit through the Building Division.
- All sign locations and sizes must be approved separately through the Planning Division.
- All proposed utilities to be underground.
- Water lines to comply with City of O'Fallon standards.
- All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, he/she shall make such changes at his/her own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvements so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City inspectors.
- Stormwater cleansing will be determined on the Construction Plans and comply to Section 405.245 of the City Code.
- No graded slopes shall exceed 3:1 maximum.
- Proposed Site Coverage:

Grass:	0.19 Ac.	(37.3%)
Pavement/Building:	0.32 Ac.	(62.7%)
- Lighting to comply with Section 400.298 of the City Codes.
- Lighting values will be reviewed on site prior to the final occupancy inspection.
- City approval of any construction plan does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.
- A full-time representative with appropriate skills, training and experience to operate and/or maintain a multi-family development will be provided per Section 400.298 of the City Code.
- Current property owners:

125 Joseph Trust
1278 Jungermann Road, Suite F
Saint Peters, MO 63376
636-262-4473
- All HVAC and mechanical units on site shall be screened as required by City Code.
- All retaining wall placement and construction to meet Section 405.275 of the City Code.
- The estimated sanitary flow is 2,295 gallons per day.

EARTHWORK

CUT: 347 CU. YD.
 FILL: 1,592 CU. YD. (DOES NOT SHRINKAGE)
 NET: 1,245 CU. YD. SHORT

THE ENGINEER HAS CALCULATED THE ABOVE QUANTITIES OF EARTHWORK, TO BE REGARDED AS STRICTLY AN ESTIMATE, AND NOT A GUARANTEE, OF THE BULK MOVEMENT AND REDISTRIBUTION OF SOILS ON THIS SITE. THE OWNER AND OR ANY CONTRACTORS PREPARING BIDS FOR EARTHWORK ON THIS PROJECT ARE NOTIFIED THAT THE ABOVE LISTED QUANTITIES CONSIDER ONLY THE VARIATIONS BETWEEN EXISTING AND PROPOSED GRADES, BASED UPON THE HORIZONTAL AND VERTICAL LOCATIONS OF THE IMPROVEMENTS AS SHOWN UPON THESE PLANS, AND NO ATTEMPT HAS BEEN MADE BY THE ENGINEER TO IDENTIFY, WITHIN THE ABOVE LISTED QUANTITIES, OTHER WORK ITEMS THE CONTRACTOR MAY BE REQUIRED TO PERFORM, INCLUDING BUT NOT LIMITED TO: STRIPPING, REMOVAL, STOCKPILING OR REDISTRIBUTION OF TOPSOIL; VOLUMETRIC LOSS DUE TO CLEARING AND GRUBBING OPERATIONS; EXCAVATION AND REPLACEMENT FOR EXPANSIVE, SOFT OR OTHER MATERIALS THAT MAY BE CONSIDERED "UNSUITABLE" FOR USE ON THIS PROJECT; THE REDISTRIBUTION OF EXCESS EXCAVATED MATERIALS GENERATED FROM THE INSTALLATION OF MISCELLANEOUS UNDERGROUND IMPROVEMENTS INCLUDING SEWER LINES, WATER LINES, UTILITY SERVICES AND MANHOLES; PROCESS AND TRANSFER LINES, BUILDING FOOTINGS, FOUNDATIONS, PIERS, STORAGE TANKS, CURBING, WALKS AND OTHER STRUCTURES, UNLESS SPECIFICALLY LISTED ABOVE AS HAVING BEEN CALCULATED BY THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR GRADING COST COST OVERRUNS DUE TO CHANGE IN SHRINKAGE FACTORS, TOPOGRAPHIC VARIATIONS, OR EXCESS EXCAVATED MATERIALS. THE GRADING CONTRACTOR SHOULD PREPARE HIS BID UPON THE BASIS THAT HE IS RESPONSIBLE FOR COMPLETING THE EARTHWORK TO THE FINISH GRADES SHOWN UPON THE DRAWINGS, IRRESPECTIVE OF THE ENGINEER'S CALCULATIONS AS TO THE RELATIVE BALANCE OF CUT AND FILL.

MoDNR LAND DISTURBANCE PERMIT NO.: NOT REQUIRED (LESS THAN AN ACRES OF DISTURBANCE)

Overall Site:	22,219.74 S.F.
Ex. Bldg., Walks & Pvmnt.	7,405.20 S.F.
Ex. Grass/Trees Area:	14,814.54 S.F.
% of Greenspace:	66.67%
Prop. Bldg., Walks & Pvmnt.	14,529.41 S.F.
Prop. Grass/Trees:	7,690.33 S.F.
% of Greenspace:	34.61%

GREEN/PACE CALCULATIONS

1 Tree / 50' of street frontage; 187.5'/50' = 4 trees for frontage
 5 street trees provided

4 spaces x 270 s.f. = 1080 s.f.
 1080 x 6% min = 65 s.f. min.
 84 s.f. planting area provided
 2 trees provided
 12 shrubs provided

LANDSCAPE CALC'S

	RB	REDBUD	CERCIS CANADENSIS	6' TALL	5 EA.
	PG	PAMPAS GRASS	COLTADIERA SELLOANA	PLUG 18" O.C.	2 EA.
	FJ	DAUB'S FROSTED JUNIPER	JUNIPERUS x PPTIZERIANA	5 GAL.	6 EA.
	DL	HAPPY RETURNS DAYLILY	HEMEROCALLIS HYBRID "HAPPY RETURNS"	1 GAL.	4 EA.

LANDSCAPE LEGEND

NEW	LEGEND	EXISTING
	MANHOLE	
	INLET MANHOLE	
	INLET	
	DOUBLE INLET	
	MULTIPLE INLET	
	SANITARY SEWER DESIGNATOR	
	STORM SEWER DESIGNATOR	
	SANITARY SEWER	
	STORM SEWER	
	FIRE HYDRANT	
	LIGHT STANDARDS	
	FENCE	
	UNDERGROUND UTILITIES	
	UTILITY VALVE	
	POWER POLE	
	ADDRESS	



LOCATION MAP

N.T.S.

SHEET INDEX

- COVER SHEET
- NOTES
- SITE/GRADING PLAN
- DRAINAGE AREA MAP
- DETAILS
- DETAILS
- DETAILS
- DETAILS
- DETAILS

NOTE: REFER TO ARCHITECTURAL PLANS BY BART BERNEKING DESIGN + BUILD FOR ADDITIONAL BUILDING INFORMATION.

REFER TO RETAINING WALL PLANS BY ROSCH COMPANY FOR STYLE, DESIGN, SPECIFICATIONS, ETC.

CONSTRUCTION PLANS FOR Joseph Street Townhomes Phase Two

A TRACT OF LAND BEING PART OF SECTION 21, TOWNSHIP 47 NORTH, RANGE 3 EAST, CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

Conditions of Approval From Planning and Zoning and/or City Council

PLANNING & ZONING: (18-012179)
 APPROVED: JAN. 3, 2019
 CITY COUNCIL: (18-012331)
 APPROVED: JAN 24, 2019
 CONDITIONS:

CONDITIONAL USE PERMIT:
 1. A maximum of eight (8) units can be constructed on the site.

- SITE PLAN:**
- If the residential units are planned to be sold in the future, a Preliminary Plat will be required.
 - Provide the floor plans for the development to verify the parking requirements that are based on the number of bedrooms.
 - Per Section 400.298, multi-family housing shall provide a full-time representative to operate and maintain the property. The section also requires amenities. This information shall be provided with the Construction Site Plans.
 - The location of the sidewalk will need to be reviewed and approved on the Construction Site Plans.
 - Provide ADA access to the mailbox kiosk as reviewed and approved on the Construction Site Plans.
 - Extend the street widening to the property and then taper it to the existing pavement.
 - The applicant shall abide by the municipal code requirements listed in this report.
 - Extend the water main to the east property line.

CITY OF O'FALLON
 COMMUNITY DEVELOPMENT DEPARTMENT
 ACCEPTED FOR CONSTRUCTION
 BY: Jeannie Greenlee DATE 06/05/2019
 PROFESSIONAL ENGINEER'S SEAL
 INDICATES RESPONSIBILITY FOR DESIGN

Utility Contacts

Sanitary Sewers
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-281-2858

Water
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 Contact: 636-281-2858

Storm Sewer
 City of O'Fallon
 100 N. Main St.
 O'Fallon, MO. 63366
 636-281-2858

Electric
 Ameren UE
 200 Callahan Road
 Wentzville, MO. 63385
 636-639-8312

Gas
 Spire, Inc.
 6400 Graham Road
 St. Louis, MO. 63134
 314-522-2297

Telephone
 Century Link
 2342 Technology Drive
 O'Fallon, MO. 63368
 636-445-7052

Fire District
 O'Fallon Fire Protection District
 111 Laura K Drive
 O'Fallon, MO. 63366
 636-272-3493

School District
 Fort Zumwalt School District
 555 E. Terra Lane
 O'Fallon, MO. 63366
 636-240-2072

CITY OF O'FALLON
 File #: 19-000810
 Permit #: CSP19-000004
 P & Z #: 18-012179
 City Council #: 18-012331

Site Benchmark

PROJECT BENCHMARK: F 149 - A standard disk, stamped "F 149 1935" and set in the top of a concrete post projecting 6 inches above ground, located on the Wabash Railroad, one block east of the station, in the southeast corner of the St. Mary Institute yard, 40 feet east of the center of a street crossing, and 45 feet north of the centerline of the main track, Elev. = 542.80.

SITE BENCHMARK: An old iron pipe at the southwest corner of 125 Joseph Street, Elevation: 541.50.

DIG-RITE TICKET #s: 182832698 (JOSEPH STREET)

Call Before you DIG
 TOLL FREE
 1-800-344-7483
 or 811
 MISSOURI ONE-CALL SYSTEM INC.

Underground facilities, structures and utilities have been plotted from available surveys, records and information, and therefore, do not necessarily reflect the actual existence, non-existence, size, type, number of, or location of these facilities, structures and utilities. The Contractor shall be responsible for verifying the actual location of all underground facilities, structures, and utilities, either shown or not shown on these plans. The underground facilities, structures and utilities shall be located in the field prior to any grading, excavation or construction of improvements. These provisions shall in no way absolve any party from complying with the Underground Facility Safety and Damage Prevention Act, Chapter 319, RSMO.

UTILITY CONNECTIONS

- SANITARY CONNECTION: NEW SANITARY LATERAL TO FLOW BY GRAVITY TO PROPOSED MAIN EXTENSION MAIN ALONG JOSEPH STREET.
- WATER CONNECTION: NEW WATER SERVICE LINE TO CONNECT TO NEW MAIN EXTENSION ALONG JOSEPH STREET.
- STORM SEWER CONNECTION: NO STORM SEWER IS NEEDED FOR NEW BUILDING. ROOF DRAINS TO SHEET FLOW FROM SITE.
- ELECTRICAL CONNECTION: NEW ELECTRICAL SERVICE LINE TO RUN UNDERGROUND FROM EXISTING POWER POLE ALONG JOSEPH STREET.
- GAS CONNECTION: ANY GAS SERVICE REQUIRED FOR NEW BUILDING WILL CONNECT TO EXISTING SPIRE GAS MAIN ALONG JOSEPH STREET.

(NOTE: ALL PROPOSED UTILITIES ARE TO BE LOCATED UNDERGROUND)



The Professional Engineer's and/or Professional Land Surveyor's responsibility is limited to plans and other documents displaying his/her signature and seal. Engineer and Surveyor hereby disclaim responsibility for:

- Unauthorized use of plans and other documents prior to receipt of all review agency approvals
- All previously issued versions of this sheet
- This sheet whenever a revised sheet is issued
- Individual use of any sheet that is part of a set of plans

This applies to all plans and other documents associated with this project, whether this statement appears on them or not.

RICHARD SCOTT MUSLER
 NUMBER PE-18838

Client

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 1278 Jungermann Road, Suite F
 St. Peters, MO 63376
 636-262-4473
 N/A
 Mr. Paul James
 paul@stcharlesrent.com

No.	Date	Revision/Issue
1	3-19-19	Rev. per City comments 02-26-19
2	4-17-19	Rev. per City comments 04-11-19

Joseph Street Townhomes Phase Two

Cover Sheet

MUSLER ENGINEERING COMPANY

CIVIL ENGINEERING - PLANNING - LAND SURVEYING
 32 PORTWEST COURT • SAINT CHARLES, MISSOURI 63303-5985
 PHONE: 636-916-0444 • FAX: 636-916-3444

CERTIFICATE OF AUTHORITY: ENGINEERING: E-1230-D, LAND SURVING: LS-284-D

City/County Job No:	
Checked:	
Proj. Manager:	
Original Issue Date:	Nov., 2018
Project No.	18-1492
Sheet	1