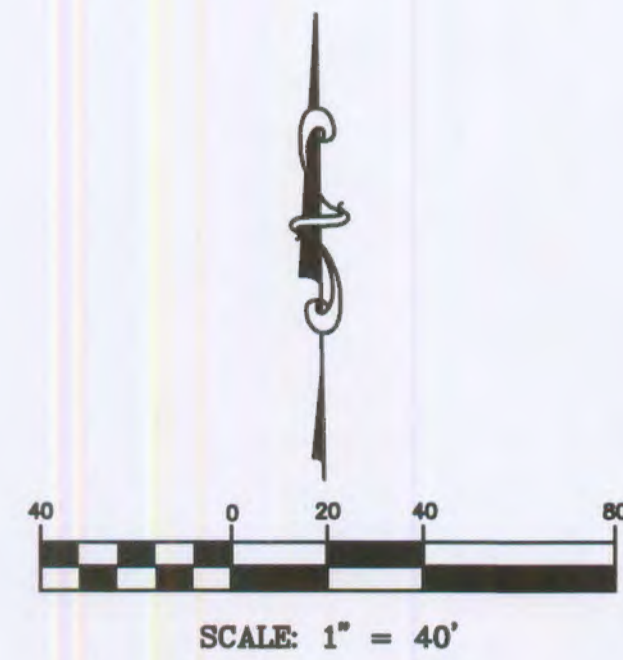
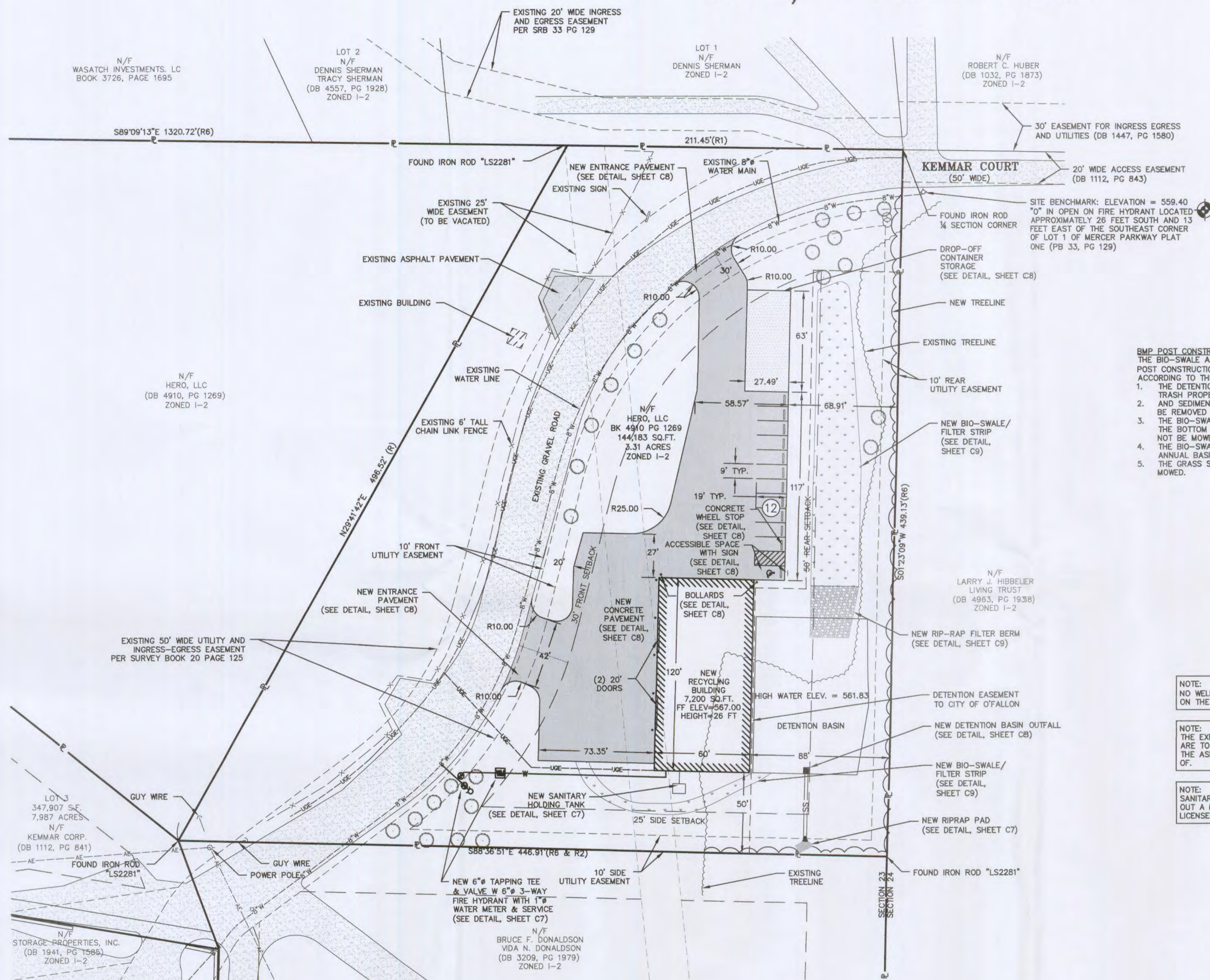


# SITE/UTILITY PLAN



LEGEND	
EXISTING GRAVEL ROAD	PROPERTY LINE
EXISTING ASPHALT PAVEMENT	EASEMENT
NEW CONCRETE PAVEMENT	SETBACK
NEW ASPHALT MILLINGS	EXISTING AERIAL ELECTRIC
NEW BIO-SWALE/FILTER STRIP	EXISTING UTILITY POLE
EXISTING BUILDING	EXISTING GUY WIRE
NEW BUILDING	EXISTING CHAIN LINK FENCE
NEW TREE	EXISTING WATER MAIN
NEW WATER LINE	EXISTING TREE
NEW WATER VALVE	EXISTING TREELINE
NEW WATER METER	NEW TREELINE
	EXISTING UNDERGROUND ELECTRIC
	NEW UNDERGROUND ELECTRIC
	EXISTING FIRE HYDRANT
	NEW FIRE HYDRANT
	NEW STORM SEWER
	NEW FLARED END

**BMP POST CONSTRUCTION MAINTENANCE**  
 THE BIO-SWALE AND DETENTION BASIN ARE CONSIDERED POST CONSTRUCTION BMP'S AND SHALL BE MAINTAINED ACCORDING TO THE FOLLOWING:

1. THE DETENTION BASIN SHALL BE PROPERLY MOWED AND TRASH PROPERLY REMOVED.
2. AND SEDIMENT ACCUMULATED IN THE DETENTION BASIN SHALL BE REMOVED ANNUALLY.
3. THE BIO-SWALES ARE TO HAVE NATIVE PLANTS VEGETATING THE BOTTOM OF THE SWALE. THE NATIVE PLANTS SHALL NOT BE MOWED.
4. THE BIO-SWALES SHALL BE SPRAYED FOR WEEDS ON AN ANNUAL BASIS.
5. THE GRASS SIDE SLOPES OF THE BIO-SWALES SHALL BE MOWED.

- NOTES:
1. UNDERGROUND STRUCTURES, FACILITIES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, DEEDS AND RECORDS. THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS NOT KNOWN.
  2. THIS DRAWING DOES NOT CONSTITUTE A BOUNDARY SURVEY.
  3. TOTAL SITE ACREAGE IS 3.31 ACRES.
  4. ZONING FOR THIS PROPERTY IS ZONE I-2
  5. I-2 ZONING REQUIREMENTS:  
 30' FRONT-YARD SETBACK  
 25' SIDE-YARD SETBACK  
 50' REAR-YARD SETBACK  
 MINIMUM LOT AREA: 5 ACRES.  
 MINIMUM LOT WIDTH: 75 FEET.  
 MAXIMUM BUILDING HEIGHT: FIFTY (50) FEET.  
 MAXIMUM SITE COVERAGE OF STRUCTURES: 50 PERCENT
  6. THE SITE LAND USE SHALL BE INDUSTRIAL.
  7. ACCESSORY BUILDINGS, OR STRUCTURES SHALL BE NO HIGHER THAN THE PRIMARY BUILDING.
  8. OFF-STREET PARKING AND LOADING REQUIREMENTS SHALL BE IN CONFORMANCE TO CITY OF O'FALLON PARKING REGULATIONS.
  9. ALL EXTERIOR SOLID WASTE CONTAINERS, CONTAINER RACKS AND STANDS SHALL BE SCREENED FROM PUBLIC VIEW. ENCLOSURES SHALL HAVE A CONCRETE FLOOR AND SHALL BE CONSTRUCTED OF MASONRY TO MATCH THE BUILDING AT A MINIMUM HEIGHT OF 6'. NO TRASH ENCLOSURES WILL BE PROVIDED ON THIS SITE.
  10. THIS SITE IS SERVED BY:  
 WATER - CITY OF O'FALLON (636) 281-2858  
 SEWER - CITY OF O'FALLON (636) 281-2858  
 TELEPHONE - CENTURYLINK (636) 332-7299  
 ELECTRIC - CUMVRE RIVER (800) 392-3709  
 FIRE - O'FALLON FIRE PROT. DIST. (636) 272-3493  
 AMBULANCE - ST. CHARLES COUNTY AMBULANCE DISTRICT (636) 441-1354  
 SCHOOL DISTRICT - FT. ZUMWALT SCHOOL DISTRICT  
 GAS - AMEREN UE (800) 552-7583
  11. THIS SITE FALLS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN, AS PER FIRM, FLOOD INSURANCE RATE MAP, FOR ST. CHARLES CO., MISSOURI AND INCORPORATED AREAS, PANEL 210 OF 925, MAP NUMBER 29183C0210 F, EFFECTIVE DATE: MARCH 17, 2003.
  12. ALL UTILITIES ARE TO BE LOCATED UNDERGROUND.
  13. THIS SITE WILL DEVELOP IN ONE PHASE.
  14. THE SITE SHALL CONFORM TO CITY OF O'FALLON STANDARDS.
  15. NO INVESTIGATION HAS BEEN PERFORMED BY COCHRAN REGARDING HAZARDOUS WASTE, UNDERGROUND CONDITIONS OR UTILITIES AFFECTING THE TRACT SHOWN HEREON.
  16. ALL PAVEMENT STRIPING SHALL BE 4" WIDE PAINTED YELLOW
  17. LOCATION, REPLACEMENT, AND CONNECTION OF THE UTILITIES SHALL BE COORDINATED WITH THE UTILITY COMPANIES.
  18. SIGNAGE FOR THE SITE WILL REQUIRE SEPARATE APPROVAL AND PERMIT.
  19. ALL LANDSCAPING MATERIAL AND DESIGN WILL FOLLOW CHAPTER 402 - (TREES & LANDSCAPING) OF THE O'FALLON MUNICIPAL CODES.
  20. ALL LIGHTING WILL BE BUILDING MOUNTED AND DIRECTED TO ILLUMINATE THE DRIVE AND PARKING AREAS. ALL LIGHTING WILL FOLLOW THE CITY OF O'FALLON MUNICIPAL CODES.
  21. ALL MECHANICAL AND HVAC EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW ACCORDING TO CITY ORDINANCE.
  22. THE EXISTING 25' WIDE ELECTRICAL EASEMENT HAS BEEN VACATED.
  23. NO VEHICLE STORAGE WILL BE PROVIDED ON THIS LOT. VEHICLES WILL NOT BE STORED IN THIS LOCATION.
  24. NO BICYCLE SPACES WILL BE PROVIDED IN THIS INDUSTRIAL USE FACILITY.
  25. ANY EXISTING WELLS AND/OR SPRINGS WHICH MAY EXIST ON THE PROPERTY MUST BE SEALED IN A MANNER ACCEPTABLE TO THE CITY OF O'FALLON CONSTRUCTION INSPECTION DEPARTMENT AND FOLLOWING MISSOURI DEPARTMENT OF NATURAL RESOURCES STANDARDS AND SPECIFICATIONS.
  26. ALL PAVING TO BE IN ACCORDANCE WITH ST. CHARLES COUNTY STANDARDS AND SPECIFICATIONS EXCEPT AS MODIFIED BY THE CITY OF O'FALLON ORDINANCES.
  27. CONNECTIONS AT ALL SANITARY OR STORM STRUCTURES TO BE MADE WITH A-LOCK JOINT OR EQUAL.
  28. BRICK SHALL NOT BE USED IN THE CONSTRUCTION OF SANITARY OR STORM SEWER STRUCTURES.
  29. ALL CONCRETE PIPES WILL BE INSTALLED WITH O-RING RUBBER TYPE GASKETS.
  30. OUTSIDE (BEYOND) THE PAVEMENT LIMITS, EXCAVATIONS SHALL BE JETTED WITH WATER AND ALLOWED TO SET FOR A LENGTH OF TIME SATISFACTORY TO THE CITY ENGINEER PER SECTION 405.210(D)(1).
  31. RIP-RAP SHOWN AT FLARED ENDS WILL BE EVALUATED IN THE FIELD BY THE ENGINEER, CONTRACTOR AND CITY INSPECTOR AFTER INSTALLATION FOR EFFECTIVENESS AND FIELD MODIFIED, IF NECESSARY, TO REDUCE EROSION ON AND OFF-SITE.
  32. ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT FROM THE PLANNING & DEVELOPMENT DIVISION.

SITE COVERAGE CALCULATION		
NEW BUILDING:	7,200	SQ FT
NEW PAVEMENT:	27,009	SQ FT
EXISTING GRAVEL ROAD:	19,570	SQ FT
GREENSPACE (EAST):	51,942	SQ FT
GREENSPACE (WEST):	38,463	SQ FT
SITE COVERAGE =	BUILDING + TOTAL PAVEMENT	X 100%
	TOTAL SITE	
SITE COVERAGE =		4.21%

PLANT LEGEND			
I.D.	PLANT TYPE:	QUANT.	SIZE
○	DECIDUOUS TREES	22	2.5"
	- RED OAK		
	- GREEN ASH		

OWNER: HERO, LLC  
 DEVELOPER: GRACE HAULING  
 1010 HOFF ROAD  
 O'FALLON, MO 63366  
 PHONE: 636-398-8060

Lot 1 of Kemmar Court

Engineering Company's Information



STATE OF MISSOURI  
 KURTIS J. DANIELS  
 Registered Professional Engineer  
 State of Missouri  
 No. 28668  
 7-20-13  
 DATE  
 Kurtis J. Daniels No. E-28668  
 Registered Professional Engineer  
 State of Missouri  
 for Cochran Engineering & Surveying

Owner: Hero, LLC  
 Developer: Grace Hauling  
 1010 Hoff Road  
 O'Fallon, MO 63366  
 Phone: 636-398-8060  
 City of O'Fallon Standard Sheet

P+Z No.  
 Approval Date: 7/6/13  
 City No. 00-42.06  
 Page No.  
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