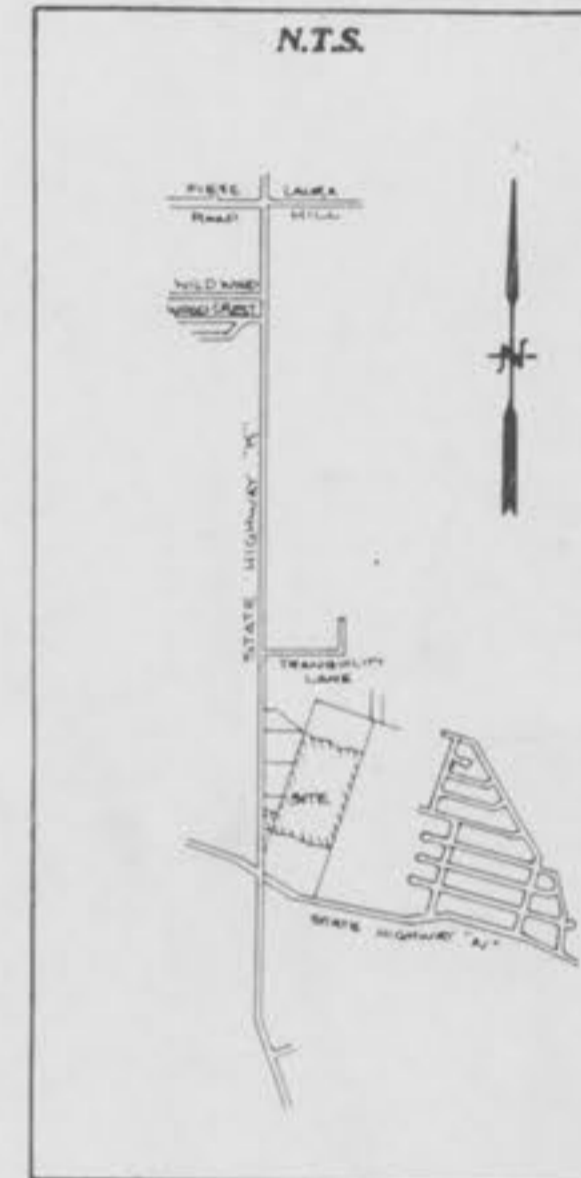


**GENERAL NOTES**

- 1) Underground utilities have been plotted from available information and therefore their locations shall be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans, shall be the responsibility of the contractor, and shall be located prior to any grading and/or construction of improvements.
- 2) All Standard Curb Inlets to have front of inlet 2' (two feet) behind curb, within public right-of-way, unless otherwise noted.
- 3) Storm sewers 18" diameter and smaller shall be A.S.T.M. C-14 unless otherwise shown on the plans.
- 4) Storm sewers 21" diameter and larger shall be A.S.T.M. C-76, Class II minimum, unless otherwise shown on the plans.
- 5) All storm sewer pipe in the right-of-way shall be Reinforced Concrete Pipe (A.S.T.M. C-76, Class II minimum).
- 6) Corrugated Metal Pipe shall conform to the standard specifications for corrugated culvert pipe AASHTO, M36.
- 7) 8" P.V.C. Sanitary Sewer Pipe shall meet the following standards: A.S.T.M. D-3034 SR35, with wall thickness compression joint A.S.T.M. D-3212. An appropriate rubber seal waterstop as approved by the sewer district shall be installed between P.V.C. pipe and masonry structures.
- 8) All filled places, including under paved areas, under buildings, under proposed storm and sanitary sewer lines and/or paved areas, shall be compacted to 90% of maximum density as determined by the "Modified AASHTO T-180 Compaction Test", (A.S.T.M. D1557), all tests to be verified by a geotechnical engineer.
- 9) All trench backfills under paved areas shall be granular backfill, and water jetted. All other trench backfills may be earth material (free of large clods or stones) and shall be water jetted.
- 10) No slope shall be steeper than 3:1. All slopes shall be seeded and mulched.
- 11) Barricades will be constructed per the standard specifications as shown in the "Manual of Uniform Traffic Control Devices". End or roadway markers shall be mounted 4 feet above the pavement on two pound "0" channel sign posts. Each marker shall consist of an 18" diamond panel with red reflectors.
- 12) All construction and materials shall conform to current City of O'Fallon Standards and Specifications.
- 13) Easements shall be provided for storm sewers, sanitary sewers, and all utilities on the record plat. See record plat for location, size and width of easements.
- 14) All water line construction shall conform to current St. Charles County Water District No. 2 standards and specifications.
- 15) All sanitary sewer construction shall conform to current Duckett Creek Sewer District standards and specifications.
- 16) The length of the concrete encasement around the P.V.C. sanitary sewers and the concrete storm sewers shall extend at least 5' into undisturbed soil to bridge the pipe across the trench backfill. Reinforcing steel shall be placed in the concrete encasement for tensile strength.
- 17) Erosion control shall not be limited to what is shown on the plan. The contractor shall take whatever means necessary to prevent siltation and erosion from entering adjacent roadways, properties and ditches. Such control might include channeling runoff into sediment basins, channeling runoff into areas where an extra row of straw bales are used. A silt fence might be considered if necessary.
- 18) All construction and materials conform to O'Fallon Fire Protection District Standards.
- 19) The minimum vertical distance from the low point of the basement to the flowline of the sanitary sewer at the corresponding house connection shall not be less than two and one half feet (2½') plus the diameter of the sanitary sewer.
- 20) The most stringent of the above requirements shall apply.
- 21) All streets and right-of-ways shown on these improvement plans will be dedicated to the City of O'Fallon for public use forever.
- 22) When grading operations are completed or suspended for more than 30 days, permanent grass must be established at sufficient density to provide erosion control on the site. Between permanent grass seeding periods, temporary cover shall be provided according to the City of O'Fallon Specifications.
- 23) The contractor shall place all fire hydrants within 2-5 feet of the street curb per ordinance No. 20.
- 24) The contractor shall place the "steamer" outlet of the fire hydrant towards the street.
- 25) All sanitary sewer manholes shall be waterproofed on the exterior in accordance with Mo. D.W.R specification 10CSR-8.120 (7) (E).
- 26) All sanitary lateral shall be extended 20 feet beyond the Building Line.
- 27) All lots encroaching on the flood plain shall require elevation certification as per Federal Emergency Management Agency.

# KENSINGTON PLACE

**LOCATION MAP**



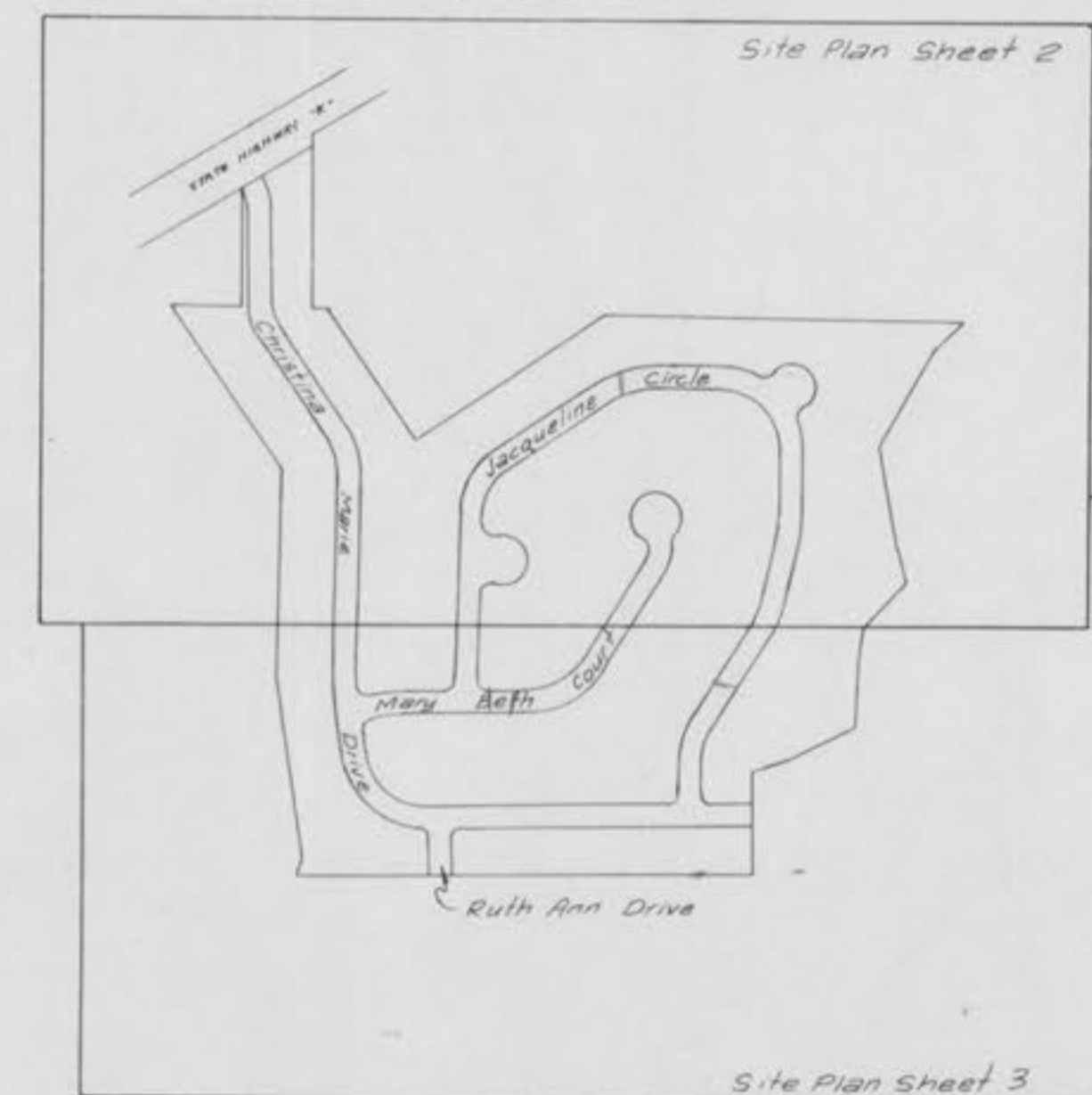
**LEGEND**

- BUILDING LINE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING WOOD AREA
- SILTATION CONTROL
- CREEK OR DITCH
- HE FLOWLINE
- G GAS MAIN
- T TELEPHONE CABLE
- W WATER MAIN
- UE UNDERGROUND ELECTRIC
- OE OVERHEAD ELECTRIC
- st STREET SIGN
- ◆ GENERAL SURFACE DRAINAGE
- ◆ LIGHT STANDARD
- CLEARING AND GRADING LIMITS
- STORM SEWER DESIGNATOR
- SANITARY MANHOLE DESIGNATOR

**DEVELOPMENT NOTES**

- 1) The current property owner is:  
George Dickherber  
P.O. Box 187  
Flint Hill, MO 63346
- 2) Prepared For:  
Owen Companies  
235 Jungerman Road, Suite 207  
St. Peters, Missouri 63376  
Phone (314) 928-6936
- 3) Gross Acreage of Residential Property: 34.74 Acres
- 4) Present Zoning of Residential Property:  
R-1A (St. Charles County)
- 5) Proposed Zoning Classification:  
R-4 P.U.D. (O'Fallon)
- 6) Proposed Use of Property:  
Single Family Residential Subdivision of 136 Lots and Common Ground
- 7) This Property will be served by the following utilities:  
WATER: St. Charles County Public Water District #2  
SANITARY SEWER: Duckett Creek Sewer District  
ELECTRIC: Union Electric Company  
GAS: St. Charles Gas Company  
TELEPHONE: G.T.E. Missouri
- 8) This property is located in the following service areas:  
Fort Zumwalt School District  
O'Fallon Fire Protection District

**KEY MAP**



**APPROVED**  
DATE 4/25/92  
P & Z

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Storm Sewer Profiles	10
Drainage Area Map	11 & 12
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FILE COPY  
**APPROVED**  
5/1/92  
Frank Godwin

**BENCHMARK:**  
BM - 51 Chiseled square on center of the south headwall of culvert for Tributary B under County Highway N, 0.33 mile east of intersection with County Highway K.  
Elevation = 487.13

**ENGINEERS AUTHENTICATION**

The responsibility for professional engineering liability on this project is hereby limited to the set of plans authenticated by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthenticated.

St. Charles Engineering & Surveying



MICHAEL NEWELL MEINERS  
MISSOURI PROFESSIONAL ENGINEER  
NUMBER E-22483

Revised 2-7-92, 2-26-92, 3-10-92, 3-25-92

Sheet 1 of 18

**S C E S ST. CHARLES ENGINEERING & SURVEYING**  
801 South Fifth Street, Suite 202  
St. Charles, Missouri 63301  
Off. 947-0607, Fax 947-2448

Order No. 91-576  
Date