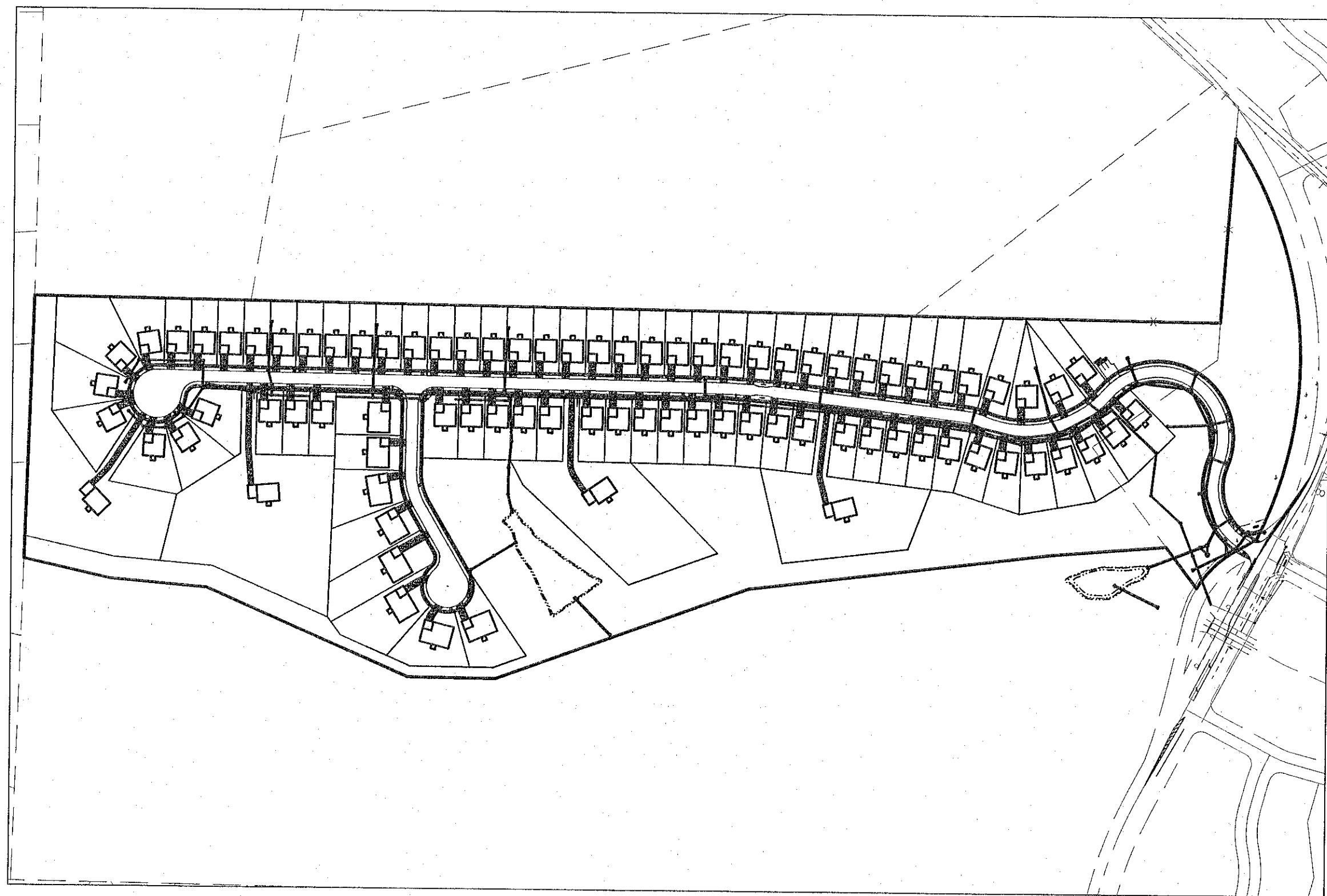
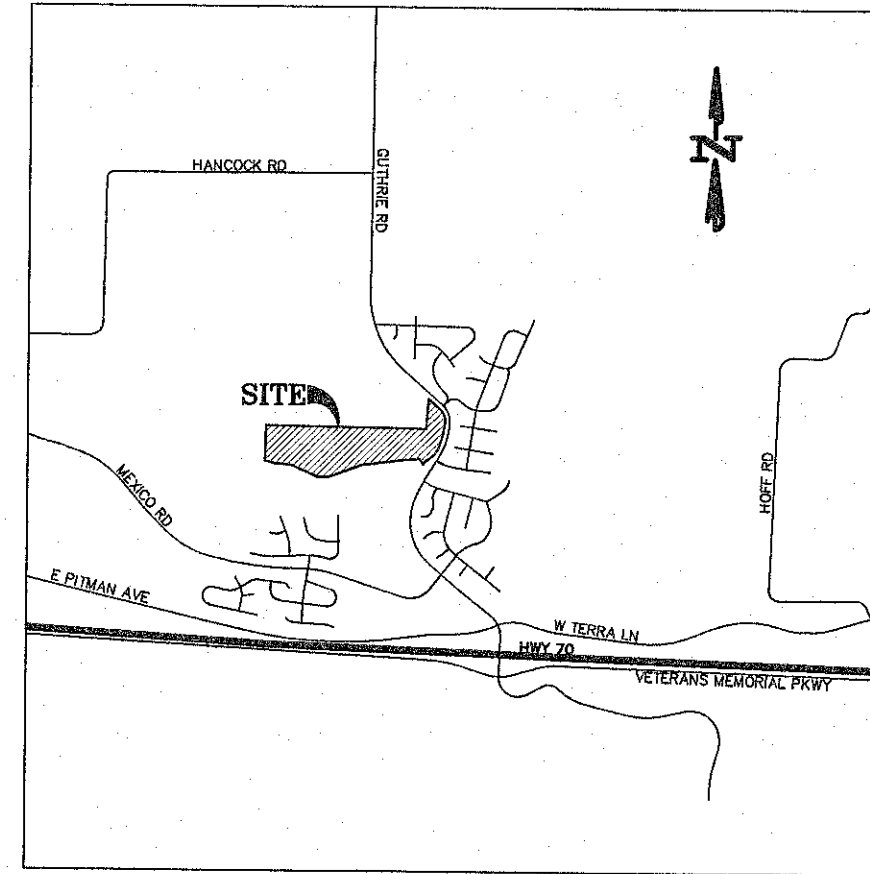


# A SET OF CONSTRUCTION PLANS FOR KEYSTONE RIDGE

A TRACT OF LAND BEING PART OF  
U.S. SURVEY 54 AND IN SECTIONS 22 AND 23  
TOWNSHIP 47 NORTH, RANGE 2 EAST  
OF THE FIFTH PRINCIPAL MERIDIAN  
CITY OF O'FALLON  
ST. CHARLES COUNTY, MISSOURI



Plan View



Locator Map

## Development Notes:

- EXISTING ZONING: R-1, PUD SINGLE FAMILY RESIDENTIAL (CITY OF O'FALLON)
- PROPERTY OWNERS:  
L K PROPERTIES II, L.L.P.      L K INVESTMENTS I, L.L.C.  
P.O. BOX 340                      P.O. BOX 340  
ST. PETERS, MO 63376            ST. PETERS, MO 63376
- PER FLOOD INSURANCE RATE MAP PANEL NUMBERS 29183C0210G & 29183C0220G DATED JANUARY 20, 2016. THIS SITE IS ZONED X, DESCRIBED AS AREAS OUTSIDE THE 500-YEAR FLOODPLAIN.
- ALL STREETS ARE TO BE PUBLIC AND CONSTRUCTED PER ST. CHARLES COUNTY SPECIFICATIONS EXCEPT AS MODIFIED BY CITY OF O'FALLON.
- TOPOGRAPHIC INFORMATION IS PER AERIAL TOPOGRAPHY BY SURDEX CORPORATION ON U.S.G.S. DATUM.
- ONE TREE SHALL BE PLANTED FOR EVERY LOT. TWO TREES FOR CORNER LOTS. TREE PLACEMENT SHALL BE PER SECTION 402 OF THE CITY CODE.
- ALL HOMES SHALL HAVE A MINIMUM OF 2 OFF-STREET PARKING PLACES WITH 2-CAR GARAGES.
- THE DEVELOPER SHALL COMPLY WITH CURRENT TREE PRESERVATION ORDINANCE NUMBER 1689 AND PROVIDE LANDSCAPING AS SET FORTH IN ARTICLE 23 OF THE CITY OF O'FALLON ZONING ORDINANCES.
- ADDITIONAL LIGHTING MAY BE REQUIRED BY THE CITY OF O'FALLON.
- DETENTION FOR THIS DEVELOPMENT TO BE PROVIDED BY THE BASIN WITHIN THE COMMON GROUND AREA. DETENTION REQUIREMENTS SHALL BE FOR THE 100YEAR/20 MINUTE STORM AND SHALL BE PROVIDED WITH THE INITIAL PHASE OF THE DEVELOPMENT.
- ALL EXISTING CREEKS, STREAMS, AND DRAINAGE SWALES WILL HAVE AN ASSOCIATED STORM WATER EASEMENT THAT WILL BE PROVIDED ON THE RECORD PLAT.
- ALL NEW UTILITIES WILL BE LOCATED UNDERGROUND.
- A TEN (10) FOOT WIDE GENERAL UTILITY EASEMENT IS REQUIRED ALONG ALL PUBLIC RIGHT-OF-WAYS.
- DENSITY CALCULATIONS:  
TOTAL SITE = 44.413 ACRES  
RIGHT-OF-WAY = 4.302 ACRES  
COMMON GROUND = 12.315 ACRES  
LOTS = 27,796 ACRES  
MINIMUM LOT SIZE OF 9,000 SQ.FT. WITH AN AVERAGE LOT SIZE OF 14,688 SQ.FT.  
TEN SMALLEST LOT SIZES WILL BE 9,000 SQ.FT.
- PUD DENSITY CALCULATIONS:  
AREA OF LOTS = 27,796 ACRES X 43,560 SQ.FT. = 1,210,793.76  
1,210,793.76 / 10,000 = 121 LOTS = 2.72 LOTS PER ACRE
- SANITARY SEWERS CLOSER THAN 10 FEET TO THE PAVEMENT EDGE OR THE PAVEMENT IS WITHIN THE 1:1 SHEAR PLANE OF THE TRENCH WILL REQUIRE GRANULAR BACKFILL WITHIN THE TRENCH.
- LOTS 49-55 ARE TO SERVED BY A PROPOSED LOW PRESSURE SANITARY SYSTEM PER MSD SPECIFICATIONS.
- SANITARY SEWER ON LOTS 40, 44, 61 & 71 WILL REQUIRE GRINDER PUMPS.
- ALL REAR YARDS TO SHEET FLOW TO BUFFER.
- CLEARING LIMITS SHALL BE VISIBLY MARKED IN THE FIELD PRIOR TO REMOVAL OF TREES.
- ANY CONNECTION TO AN EXISTING SANITARY SEWER STRUCTURE MAY REQUIRE REHABILITATION OR RECONSTRUCTION OF THE SANITARY SEWER STRUCTURE BEING USED.
- MAXIMUM LOT COVERAGE IS 35%

## Drawing Index

- 1 COVER SHEET
- 2 NOTES
- 3-4 SITE PLAN
- 5-6 GRADING PLAN
- 7-8 WATER PLAN
- 9-10 SEDIMENT & EROSION CONTROL PLAN
- 11-13 STREET PROFILES
- 14-16 SANITARY SEWER PROFILES
- 17-19 STORM SEWER PROFILES
- 20 LANDSCAPE PLAN
- 21 SIGNAGE, STRIPING & JOINTING PLAN
- 22 PRE-DEVELOPED DRAINAGE AREA MAP
- 23-24 POST-DEVELOPED DRAINAGE AREA MAP
- 24A-24B ELECTRIC LAYOUT (APPROXIMATE)
- 25-33 DETAILS

## Benchmarks Project

**BENCHMARK:**  
C-149 - ELEVATION 545.45 (DATUM NAVD88) ESTABLISHED BY COAST AND GEODETIC SURVEY 1935, 1.8 MILES EAST FROM GILMORE. 1.8 MILES EAST ALONG THE WABASH RAILROAD FROM THE STATION AT GILMORE, ST. CHARLES COUNTY, 80 FEET WEST OF A TOWNSHIP ROAD CROSSING, 48 FEET NORTH OF THE CENTERLINE OF THE TRACK, 12 FEET WEST OF THE RIGHT-OF-WAY FENCE CORNER, AND 2 FEET SOUTH OF THE RIGHT-OF-WAY FENCE. A STANDARD DISK, STAMPED C 149 1935 AND SET IN THE TOP OF A CONCRETE POST PROJECTING 6 INCHES ABOVE GROUND.

## Site

**BENCHMARK:**  
ELEV. 486.82' - FOUND IRON PIPE AT THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY.

## Legend

600.00	EXISTING LABELS	[Symbol]	EXIST. SINGLE CURB INLET
600.00	PROPOSED LABELS	[Symbol]	EXIST. AREA INLET
CI	SINGLE CURB INLET	[Symbol]	PROPOSED SINGLE CURB INLET
DCI	DOUBLE CURB INLET	[Symbol]	PROPOSED AREA INLET
AI	AREA INLET	[Symbol]	PROPOSED GRATE INLET
DAI	DOUBLE AREA INLET	[Symbol]	EXIST. SANITARY MANHOLE
GI	GRATE INLET	[Symbol]	EXIST. STORM MANHOLE
DGI	DOUBLE GRATE INLET	[Symbol]	PROPOSED MANHOLE
MH	MANHOLE	[Symbol]	POWER POLE
FE	FLARED END SECTION	[Symbol]	GUY WIRE
EP	END PIPE	[Symbol]	LIGHT STANDARD
CP	CONCRETE PIPE	[Symbol]	FIRE HYDRANT
RCP	REINFORCED CONCRETE PIPE	[Symbol]	WATER METER
CMP	CORRUGATED METAL PIPE	[Symbol]	WATER VALVE
CPP	CORRUGATED PLASTIC PIPE	[Symbol]	GAS VALVE
PVC	POLY VINYL CHLORIDE (PLASTIC)	[Symbol]	TELEPHONE PEDESTAL
CO	CLEAN OUT	[Symbol]	SIGN
-----	SLOPE LIMITS	[Symbol]	TREE
-----	DRAINAGE SWALE	[Symbol]	
-----	EXISTING STORM SEWER	[Symbol]	
-----	EXISTING SANITARY SEWER	[Symbol]	
-----	EXISTING WATER LINE	[Symbol]	
-----	EXISTING FIBER OPTIC LINE	[Symbol]	
-----	EXISTING GAS LINE	[Symbol]	
-----	EXISTING UNDERGROUND ELECTRIC	[Symbol]	
-----	EXISTING OVERHEAD ELECTRIC	[Symbol]	
-----	EXISTING CABLE TV LINE	[Symbol]	
-----	PROPOSED STORM SEWER	[Symbol]	
-----	PROPOSED SANITARY SEWER	[Symbol]	
-----	FENCE LINE	[Symbol]	
-----	SAWCUT LINE	[Symbol]	

**VEGETATION ESTABLISHMENT For Urban Development Sites APPENDIX A**

**SEEDING RATES:**

**PERMANENT:**  
Tall Fescue - 150 lbs./ac.  
Smooth Brom - 100 lbs./ac.  
Combined - Fescue @ 75 lbs./ac. AND Brom @ 50 lbs./ac.

**TEMPORARY:**  
Wheat or Rye - 150 lbs./ac. (3.5 lbs. per 1,000 s.f.)  
Oats - 120 lbs./ac. (2.75 lbs. per 1,000 s.f.)

**SEEDING PERIODS:**  
Fescue or Brom - March 1 to June 1  
Wheat or Rye - August 1 to October 1  
Wheat or Rye - March 15 to November 1  
Oats - March 15 to September 15

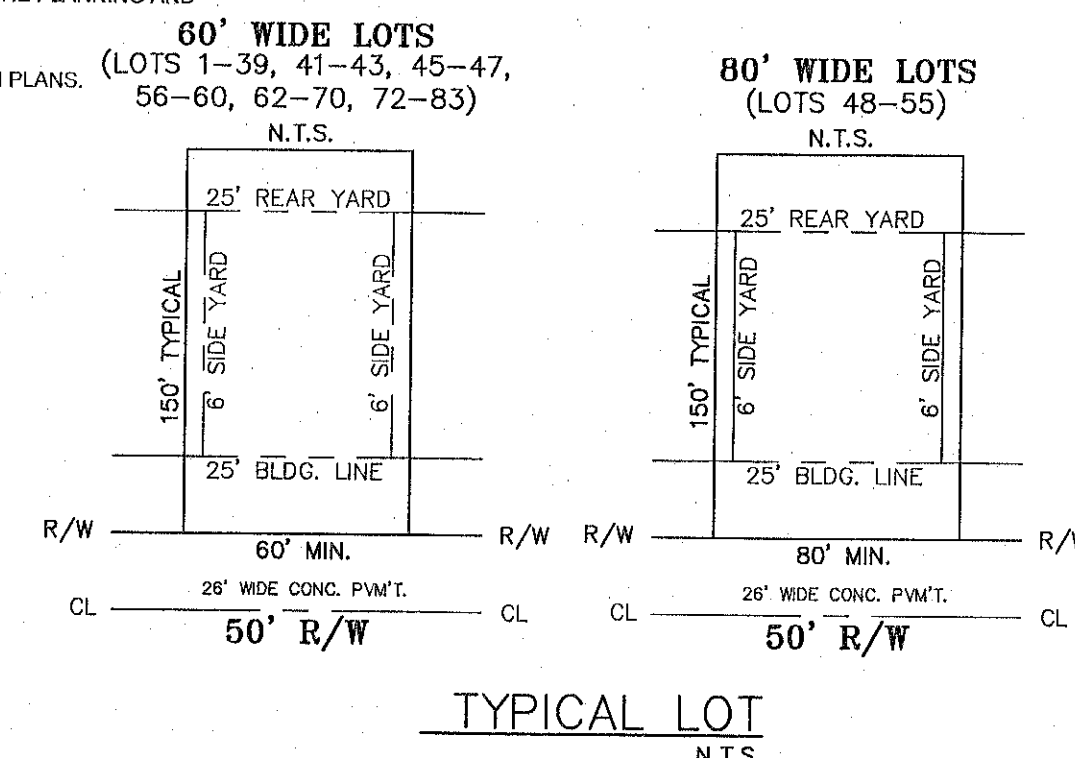
**MULCH RATES:**  
100 lbs. per 1000 sq. ft. (4,356 lbs. per ac.)

**FERTILIZER RATES:**  
Nitrogen 30 lbs./ac.  
Phosphate 30 lbs./ac.  
Potassium 30 lbs./ac.  
Lime 600 lbs./ac. ENM\*

\* ENM = effective neutralizing material as per State evaluation of quarried rock.

## Conditions of Approval From Planning and Zoning

- PROVIDE HOW ADDRESSES WILL BE DISPLAYED NEAR THE ENTRANCES OF THE FOUR (4) FLAG LOTS.
  - THE USPS SHALL BE CONTACTED TO FINALIZE THEIR PREFERRED METHOD OF DELIVERY. A MAIL KIOSK MAY BE REQUIRED IN LIEU OF INDIVIDUAL MAIL BOXES FOR EACH LOT. IF A KIOSK IS REQUIRED, THE LOCATION SHALL BE PROVIDED ON THE CONSTRUCTION PLANS. PROVIDE WRITTEN CONFIRMATION FROM THE USPS PRIOR TO CONSTRUCTION PLAN APPROVAL THAT STATES THEIR PREFERRED METHOD AND LOCATION OF MAIL DELIVERY.
  - THE OFFSITE ROADWAY EASEMENT THAT CROSSES THE DETENTION BASIN SHALL BE VACATED.
  - PROVIDE A SIGHT DISTANCE STUDY FOR THE INTERSECTION OF GUTHRIE ROAD AND KEYSTONE RIDGE.
  - THE APPLICANT SHALL ABIDE BY THE MUNICIPAL CODE REQUIREMENTS.
  - PROVIDE VERIFICATION FROM THE FIRE DEPARTMENT THAT THEY HAVE APPROVED THE MOST CURRENT PLAN.
- MUNICIPAL CODE REQUIREMENTS:**
- PROVIDE COVENANTS AND RESTRICTIONS PRIOR TO THE RECORD PLAT SUBMITTAL.
  - PROVIDE PROPOSED LOT COVERAGE PERCENTAGE. THIS SHALL BE PRESENTED AT THE PLANNING AND ZONING COMMISSION MEETING AND SHOWN ON THE CONSTRUCTION PLANS.
  - PROVIDE HOW STORM WATER QUALITY WILL BE ADDRESSED ON THE CONSTRUCTION PLANS.



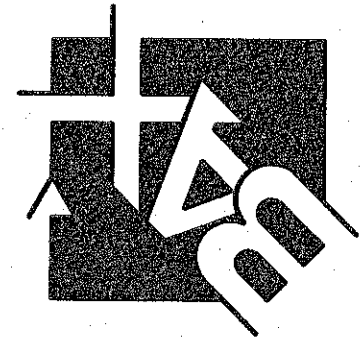
CITY OF O'FALLON  
COMMUNITY DEVELOPMENT DEPARTMENT  
ACCEPTED FOR CONSTRUCTION  
BY: [Signature] DATE **OCTOBER 6, 2017**  
PROFESSIONAL ENGINEER'S SEAL  
INDICATES RESPONSIBILITY FOR DESIGN

PROJECT TITLE:

**KEYSTONE  
RIDGE**

Issue Date: 02/20/2017

ENGINEERING  
SURVEYING  
221 Park West Blvd.  
St. Charles, MO 63301  
636-428-6502  
FAX 636-428-1718



DISCLAIMER OF RESPONSIBILITY  
I hereby specify that the documents intended to be authorized by my seal are limited to this sheet, and I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project.

CLIFFORD L. HEITMANN  
NUMBER E-29817  
CIVIL ENGINEER

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Authority No. 000855  
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**REVISIONS**

05/01/17	CITY COMMENTS
07/20/17	CITY COMMENTS
08/07/17	CITY COMMENTS
08/21/17	CITY COMMENTS
08/31/17	CITY COMMENTS
10/02/17	CITY COMMENTS

**Utility Contacts**

Sanitary Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
Contact: 636-281-2858

Water  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
Contact: 636-281-2858

Storm Sewer  
City of O'Fallon  
100 N. Main St.  
O'Fallon, MO 63366  
636-281-2858

Ameren UE  
200 Callahan Road  
Wentzville, MO 63385  
636-639-8312

Gas  
Laclede Gas Company  
6400 Graham Road  
St. Louis, MO 63134  
314-522-2297

Telephone  
Century Link  
1151 Century Tel Dr.  
Wentzville, MO 63385  
636-332-7261

Charter Communications  
941 Charter Commons  
Town & Country, MO 63017  
1-888-438-2427

Wentzville Fire District  
209 West Pearce Blvd.  
Wentzville, MO 63385  
636-332-9869

Developer / Owner:

**KEYSTONE RIDGE LAND, LLC**  
10328 LAKE BLUFF DRIVE  
ST. LOUIS, MO 63123  
314-892-3030 EXT. 121

**COVER SHEET**

P+Z No. #32-16  
12/01/16 & 04/27/17  
City No. #

Page No.

1 of 33

\* City of O'Fallon Construction work hours per City Ordinance 3429 as shown in section 500.420 of the Municipal Code of the City of O'Fallon are as follows:

October 1 through May 31  
7:00 A.M. To 7:00 P.M. Monday Through Sunday  
June 1 Through September 30  
6:00 A.M. To 8:00 P.M. Monday Through Friday  
7:00 A.M. to 8:00 P.M. Saturday and Sunday

\* The area of this phase of development is 44.413 Acres  
The area of land disturbance is 25.20 Acres  
Number of proposed lots is 83  
Building setback information. Front 25'  
Side 6'  
Rear 25'

\* The estimated sanitary flow in gallons per day is 30,710 GPD

\* Street trees & Tree Preservation requirements:  
Existing Trees = 43.34 Acres  
Trees Removed = 23.96 Acres  
Trees Saved = 19.38 Acres  
Tree Preservation trees to be retained:  
43.34 Acres x 20% = 8.66 Acres  
8.66 Acres - 19.38 Acres (Saved) = 10.72 Acres  
19.38 Acres > 8.66 Acres (No new trees required)

Street Trees Required:  
1 Tree per lot, 2 Trees per corner lot  
83 Lots = 83 Trees (-4 flag lots) = 79 Trees  
2 Corner Lots = 2 Trees  
Total Trees Required = 81  
Total Trees Provided = 81

City approval of any construction site plans does not mean that any building can be constructed on the lots without meeting the building setbacks as required by the zoning codes.  
All installations and construction shall conform to the approved engineering drawings. However, if the developer chooses to make minor modifications in design and/or specifications during construction, they shall make such changes at their own risk, without any assurance that the City Engineer will approve the completed installation or construction. It shall be the responsibility of the developer to notify the City Engineer of any changes from the approved drawings. The developer may be required to correct the installed improvement so as to conform to the approved engineering drawings. The developer may request a letter from the Construction Inspection Division regarding any field changes approved by the City Inspector.  
Lighting values will be reviewed on site prior to the final occupancy inspection.