

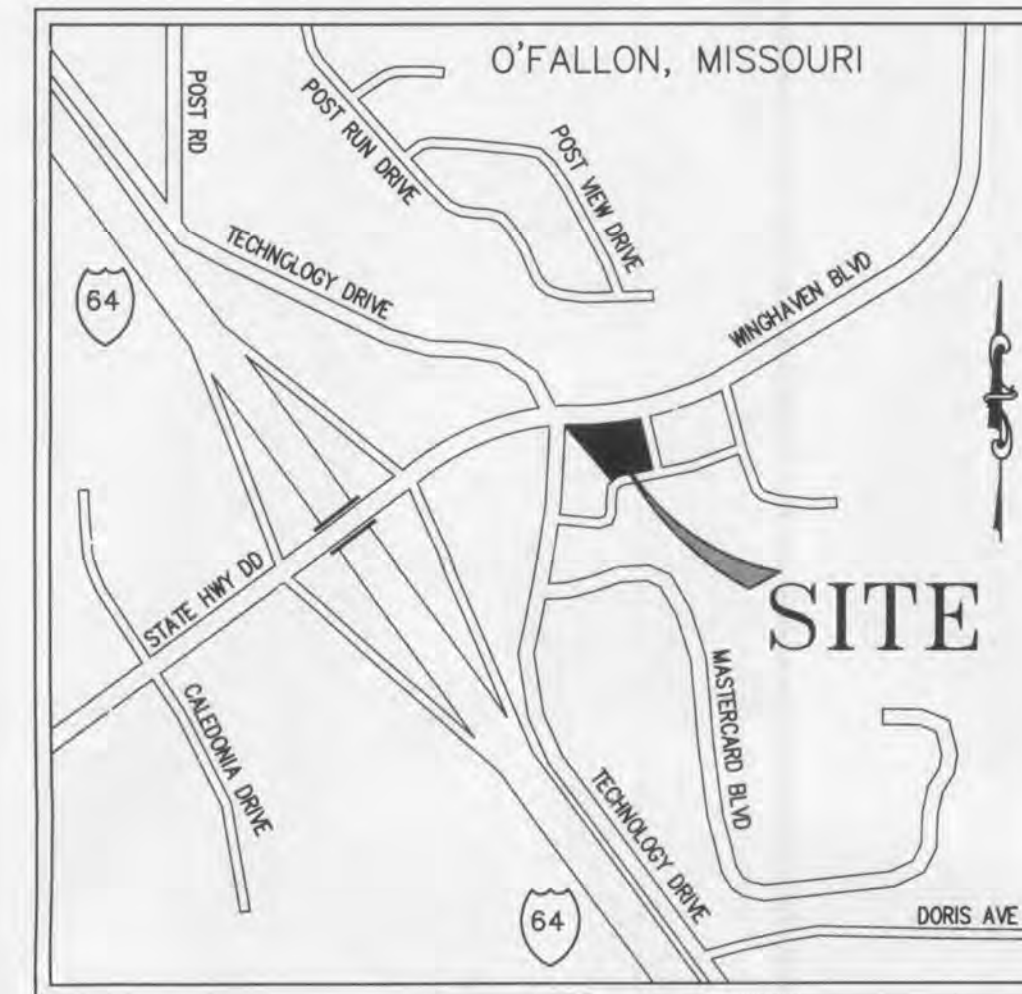
A SET OF CONSTRUCTION PLANS FOR KIDDIE ACADEMY

A TRACT OF LAND BEING LOTS 2, 3, 4 AND 5 OF LAKESIDE SHOPPES AS RECORDED IN PLAT BOOK 40, PAGE 45 AND LOCATED IN PART OF FRACTIONAL SECTION 13 AND PART OF U.S. SURVEY 1669, TOWNSHIP 46 NORTH, RANGE 2 EAST OF THE 5TH PRINCIPAL MERIDIAN CITY OF O'FALLON, ST. CHARLES COUNTY, MISSOURI

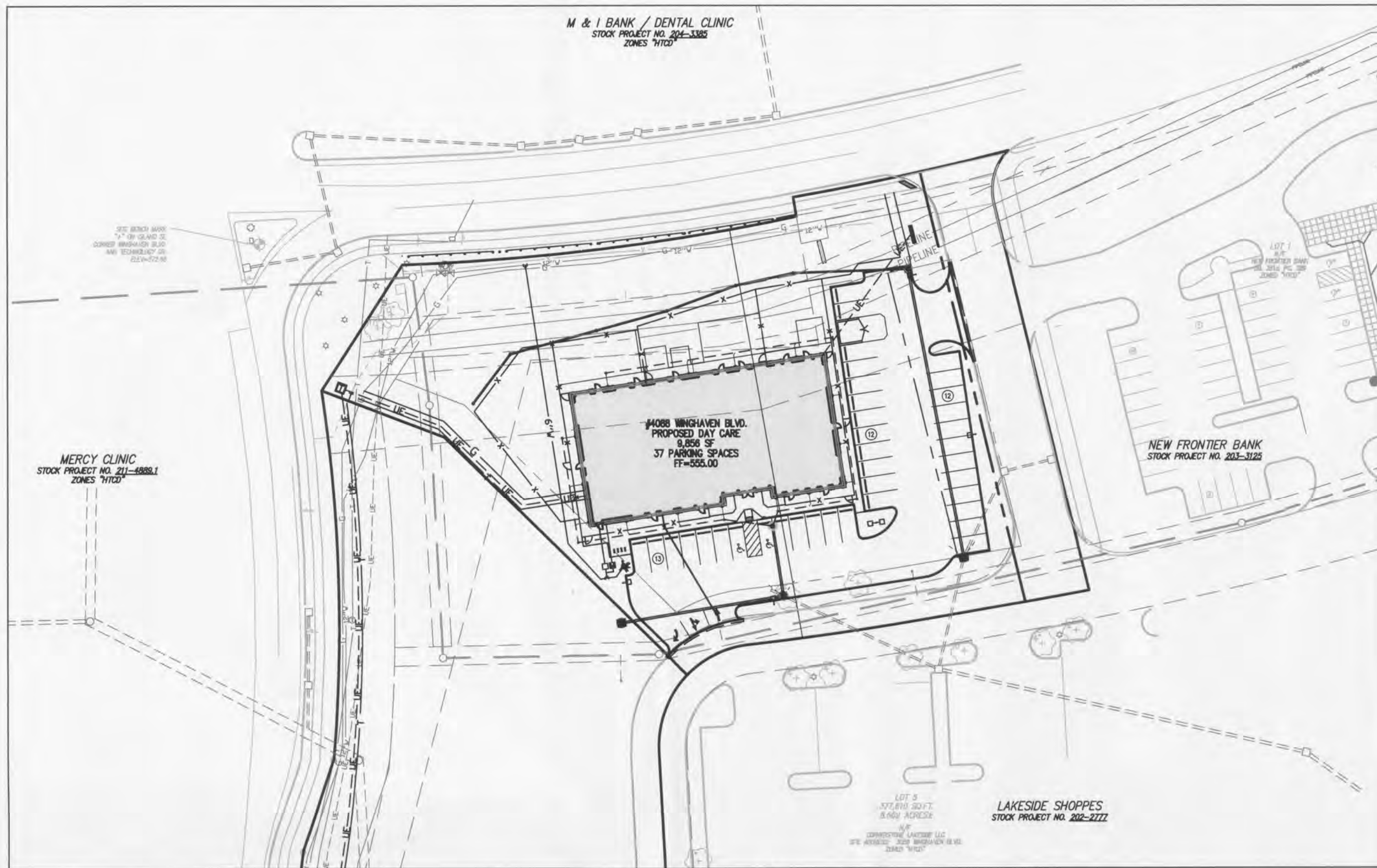
TOTAL TRACT DESCRIPTION

A tract of land being all of Lots 2, 3 and 5 of the Lakeside Shoppes, a subdivision as recorded in Plat Book 40, Page 45 of the St. Charles County Recorder's Office, being part of Fractional Section 13 and U.S. Survey 1669 in Township 45 North, Range 2 East of the Fifth Principal Meridian, City of O'Fallon, St. Charles County, Missouri and being more particularly described as follows:

BEGINNING at the Northeast Corner of Lot 2 of Lakeside Shoppes, a subdivision as recorded in Plat Book 40, Page 45 of the St. Charles County Recorder's Office, said corner also being the Northwest corner of Lot 1 of said Lakeside Shoppes; thence along the Western and Southern lines of said Lot 1 along a curve to the left the radius of which bears South 44 degrees 45 minutes 35 seconds East, 29.50 feet, an arc length of 30.40 feet to a point; thence South 13 degrees 28 minutes 37 seconds East, a distance of 171.93 feet to a point of curvature; thence along a curve to the left having a radius of 29.50 feet, an arc length of 45.27 feet to a point of compound curvature; thence along a curve to the left having a radius of 1738.33 feet, an arc length of 311.33 feet to a point of compound curvature; thence along a curve to the left having a radius of 29.50 feet, an arc length of 42.72 feet to the Southeast corner of said Lot 1, said corner also being the Northeast corner of Lot 5 of said Lakeside Shoppes; thence along the Eastern line of said Lot 5 in a Southerly direction along a curve to the left, the radius of which bears North 72 degrees 51 minutes 04 seconds East, 215.74 feet, and an arc length of 25.91 feet to a point; thence South 26 degrees 45 minutes 26 seconds East, a distance of 547.98 feet to the Southeast corner of said Lot 5; thence along the Southern line of said Lot 5 the following: South 82 degrees 55 minutes 20 seconds West, a distance of 579.11 feet to a point; thence North 62 degrees 54 minutes 33 seconds West, a distance of 88.99 feet to a point; thence South 89 degrees 56 minutes 28 seconds West, a distance of 112.33 feet to a point; thence South 71 degrees 27 minutes 07 seconds West, a distance of 264.44 feet to a point; thence North 18 degrees 32 minutes 53 seconds West, a distance of 30.75 feet to a point; thence North 69 degrees 32 minutes 53 seconds West, a distance of 60.30 feet to a point on the Eastern line of Technology Drive; thence along said Eastern line the following: North 18 degrees 45 minutes 43 seconds East, a distance of 2.91 feet to a point; thence North 12 degrees 46 minutes 44 seconds East, a distance of 154.27 feet to a point; thence along a curve to the left the radius of which bears North 75 degrees 13 minutes 59 seconds West, 1015.18 feet, and an arc length of 68.85 feet to the Southwest corner of Lot 4 of the aforesaid Lakeside Shoppes; thence along the Southern, Eastern and Northeastern lines of said Lot 4 the following: North 87 degrees 00 minutes 00 seconds East, a distance of 210.46 feet to a point; thence North 03 degrees 00 minutes 00 seconds West, a distance of 114.54 feet to a point; thence along a curve to the right having a radius of 55.00 feet, an arc length of 45.45 feet, to a point; thence North 45 degrees 38 minutes 56 seconds West, a distance of 184.51 feet to a point; thence North 69 degrees 16 minutes 08 seconds West, a distance of 70.85 feet to a point on the Eastern line of the aforesaid Technology Drive; thence along said Eastern line North 32 degrees 56 minutes 08 seconds East, a distance of 80.54 feet to a point on the Southern line of Winghaven Boulevard; thence along said Southern line along a curve to the left, the radius of which bears North 01 degree 55 minutes 50 seconds West 1251.57 feet, and an arc length of 215.97 feet, to a point; thence North 09 degrees 46 minutes 54 seconds West, a distance of 10.51 feet to a point; thence along a curve to the left the radius of which bears North 09 degrees 46 minutes 54 seconds West 1495.89 feet, and an arc length of 119.51 feet to the Point of Beginning and containing 448,236 square feet or 10.290 acres more or less.



LOCATION MAP



PLAN VIEW

* CITY OF O'FALLON CONSTRUCTION WORK HOURS PER CITY ORDINANCE 3429 AS SHOWN IN SECTION 500.420 OF THE MUNICIPAL CODE OF THE CITY OF O'FALLON ARE AS FOLLOWS:

OCTOBER 1 THROUGH MAY 31
7:00 A.M. TO 7:00 P.M. MONDAY THROUGH SUNDAY
JUNE 1 THROUGH SEPTEMBER 30
6:00 A.M. TO 8:00 P.M. MONDAY THROUGH FRIDAY
7:00 A.M. TO 8:00 P.M. SATURDAY AND SUNDAY

PERTINENT DATA

ZONING = "HTCD" - HIGH TECH CORRIDOR DISTRICT
SITE ACREAGE = LOT 2 = 0.810 ACRES±, LOT 3 = 0.811 ACRES±
LOT 5 = 8.869 ACRES±
ADJUSTED LOT 2 = 1.426 ACRES±
ADJUSTED LOT 5 = 8.864 ACRES±
OWNER = CORNERSTONE LAKESIDE LLC
10560 OLD OLIVE STREET RD, SUITE 500
ST. LOUIS, MO 63141
DEVELOPER = CHESTERFIELD CHILDCARE PROPERTIES, LLC
23 BOOP LANE
ST. LOUIS, MO 63131
SITE ADDRESS = 4088 WINGHAVEN BLVD.
O'FALLON, MO 63368
BUILDING HEIGHT = 33'
PARCEL ID = 4-0047-9324-00-0002, 4-0047-9324-00-0003

PARKING REQUIREMENTS:
DAY CARE/PRE-SCHOOL:
REQUIRED:
1 SPACE/6 PUPILS + 1 SPACE/EMPLOYEE (BASED UPON THE MAXIMUM NUMBER OF PUPILS FOR WHICH THE FACILITY IS LICENSED BY THE STATE OF MISSOURI)
150 PUPILS x 1 SPACE/6 PUPILS = 25 SPACES
12 EMPLOYEES x 1 SPACE/EMPLOYEE = 12 SPACES
TOTAL REQUIRED = 37 SPACES
PROVIDED:
STANDARD SPACES (9'x19') = 37 SPACES
ACCESSIBLE SPACES:
REQUIRED: TOTAL SPACES 26-50 = 2 SPACES
PROVIDED: = 2 SPACES

LOADING REQUIREMENTS:
BUILDINGS WITH 5,000 SF - 25,000 SF OF GFA:
1 - 12'x35' LOADING SPACE REQUIRED
1 - 12'x35' LOADING SPACE PROVIDED

SITE COVERAGE CALCULATIONS
BUILDING = 9,856 SF (15.9%)
PAVEMENT = 26,115 SF (42.0%)
GREENSPACE = 26,149 SF (42.1%)
TOTAL = 62,120 SF (100.0%)

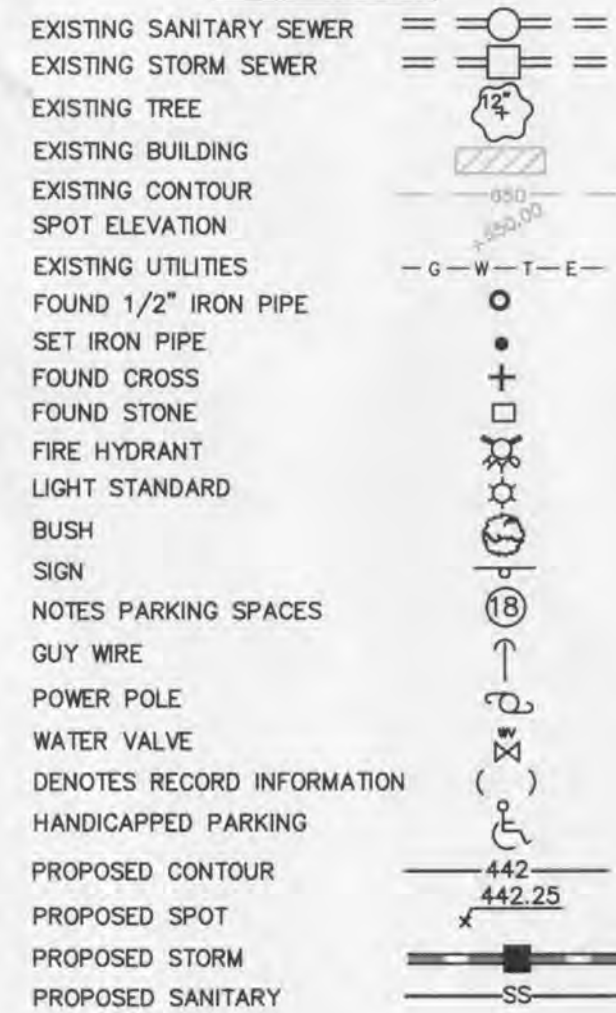
SETBACK REQUIREMENTS:
NORTH: 50' BUILDING SETBACK (DB. 2012, PG. 162)
EAST: 30' SIDE YARD - CORNER LOT ("HTCD")
SOUTH: 30' SIDE YARD - CORNER LOT ("HTCD")
WEST: 20' SIDE YARD ("HTCD")

AREA OF LAND DISTURBANCE = 1.4± ACRES

ESTIMATED SANITARY FLOW IN GPD = T.B.D.

TREE PRESERVATION CALCULATIONS:
1 TREE TO BE REMOVED
21 TREES PROPOSED

LEGEND



ABBREVIATIONS

ATG - ADJUST TO GRADE
B.C. - BACK OF CURB
C.O. - CLEANOUT
DB. - DEED BOOK
E - ELECTRIC
ELEV. - ELEVATION
EX. - EXISTING
F.C. - FACE OF CURB
FL - FLOWLINE
FT. - FEET
FND. - FOUND
G - GAS
H.W. - HIGH WATER
LFB - LOW FLOW BLOCKED
M.H. - MANHOLE
N/F - NOW OR FORMERLY
PB. - PLAT BOOK
PG. - PAGE
PR. - PROPOSED
P.V.C. - POLYVINYL CHLORIDE PIPE
R.C.P. - REINFORCED CONCRETE PIPE
R/W - RIGHT-OF-WAY
SQ. - SQUARE
T - TELEPHONE CABLE
T.B.A. - TO BE ABANDONED
T.B.R. - TO BE REMOVED
T.B.R.&R. - TO BE REMOVED & REPLACED
TYP. - TYPICALLY
U.I.P. - USE IN PLACE
U.O.N. - UNLESS OTHERWISE NOTED
V.C.P. - VITRIFIED CLAY PIPE
W - WATER
(86"W) - RIGHT-OF-WAY WIDTH

DRAWING INDEX

- C1.0 TITLE SHEET
- C2.0 SPECIFICATIONS SHEET
- C2.1 SPECIFICATIONS SHEET
- C3.0 STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
- C3.1 O'FALLON EROSION CONTROL DETAILS
- C4.0 OVERALL UTILITY AND PAVING PLAN
- C5.0 SPOT GRADING AND SEWER PLAN
- C6.0 SEWER PROFILES
- C6.1 SEWER DETAILS AND HYDRAULICS
- C7.0 CONSTRUCTION DETAILS
- C7.1 CONSTRUCTION DETAILS
- C7.2 O'FALLON STORM AND SANITARY DETAILS
- C8.0 DRAINAGE AREA MAP

CONDITIONS OF APPROVAL FROM PLANNING AND DEVELOPMENT

- APPROVAL IS CONDITIONAL UPON THE FOLLOWING STAFF RECOMMENDATIONS BEING MET:
- PER ORDINANCE 4768, A CHILDCARE CENTER CANNOT BE CLOSER THAN 500 FEET TO THE EDGE OF THE PIPELINE EASEMENT. THE APPROVAL OF THE CONSTRUCTION PLANS WILL BE CONTINGENT UPON THE REMOVAL OF THE PIPELINE ANTHE VACATION OF THE PIPELINE EASEMENT.
 - THE CONSTRUCTION SITE PLANS SHALL ADDRESS THE MUNICIPAL CODE REQUIREMENTS LISTED.
- APPROVAL IS ALSO CONDITIONAL UPON THE FOLLOWING MUNICIPAL CODE REQUIREMENTS BEING PROVIDED IN CONJUNCTION WITH THE CONSTRUCTION SITE PLANS
- A PASSIVE TRASH ENCLOSURE SHALL BE CONSTRUCTED ON THE SITE. A DETAIL OF THE PASSIVE TRASH ENCLOSURE SHALL BE PROVIDED. THE ENCLOSURE SHALL CONSIST OF A SIX-FOOT HIGH SOLID WALL WITH A SIGHT PROOF VINYL GATE CONSISTENT WITH THE ARCHITECTURAL THEME OF THE PRIMARY STRUCTURE ON SITE.
 - LANDSCAPING SHALL BE PROVIDED AROUND THE PROPOSED TRANSFORMER SHOWN IN THE SOUTHWEST CORNER OF THE LOT. THE PLANS SHALL STATE THE MATURE HEIGHT OF THE PROPOSED VEGETATION.
 - POST CONSTRUCTION BMP'S FOR STORMWATER CLEANSING SHALL BE PROVIDED WITH THE CONSTRUCTION PLANS.
 - A BOUNDARY ADJUSTMENT PLAT COMBINING LOTS 2 & 3 SHALL BE SUBMITTED PRIOR TO APPROVAL OF THE CONSTRUCTION PLANS.
 - CONCEPTUAL APPROVAL FROM PWS# #2 AND DUCKETT CREEK SEWER DISTRICT AND WENTZVILLE FIRE DISTRICT SHALL BE PROVIDED.
 - DOCUMENTATION SHALL BE PROVIDED SHOWING THAT THE PERMANENT SLOPE EASEMENT HAS BEEN VACATED.
 - THE CITY HAS CREATED CONSTRUCTION PLAN SHEETS WHICH FORMAT SHALL BE USED WHEN SUBMITTING CONSTRUCTION PLANS FOR REVIEW. THE SHEETS CAN BE FOUND AT http://www.o'fallon.mo.us/dept_PW_engineering.htm.

UTILITY/AGENCY CONTACTS

CITY = CITY OF O'FALLON
100 NORTH MAIN STREET
O'FALLON, MO 63368
UTILITY LOCATES
PH: (636) 281-2858
TRAFFIC LOCATES
PH: (636) 379-5062
ENGINEERING DIVISION
PH: (636) 379-5556
CONSTRUCTION INSPECTION DIVISION
PH: (636) 379-5596
WATER = PUBLIC WATER SUPPLY DISTRICT #2
100 WATER DRIVE
O'FALLON, MO 63368
CONTACT: ROB FISCHER, P.E.
PH: (636) 561-3737 x136
rfischer@alliancewater.com
ELECTRIC = AMEREN UE
200 CALLAHAN ROAD
WENTZVILLE, MO 63385
CONTACT: DANIEL GIESSMANN
PH: (636) 639-8310
dgiessmann@ameren.com
GAS = LACLEDE GAS COMPANY
1999 TRADE CENTER DRIVE EAST
ST. PETERS, MO 63376
CONTACT: MARK DEMLING
PH: (314) 342-0659
mrdemling@lacledegas.com
CABLE = CHARTER COMMUNICATIONS
941 CHARTER COMMONS
TOWN & COUNTRY, MO 63017
CONTACT: SARA BISHOP
PH: (636) 387-6633
EMAIL
FIRE = WENTZVILLE FIRE PROTECTION
209 WEST PEARCE BLVD.
WENTZVILLE, MO 63385
CONTACT: JOE HEITKAMP, FIRE MARSHALL
PH: (636) 327-6239
PHONE/FIBER = AT&T MISSOURI RIGHT OF WAY
13075 MANCHESTER ROAD, SUITE 3-G-01
DES PERES, MO 63131
CONTACT: CRAIG ROMPH
PH: (314) 957-3891
cr1018@att.com
PHONE/FIBER = CENTURYLINK
1151 CENTURY LINK DRIVE
WENTZVILLE, MO 63385
CONTACT: DAN KRUSE
PH: (636) 332-7030
daniel.kruse@centurylink.com
PHONE/FIBER = LIGHTCORE
11111 DORSETT ROAD
MARYLAND HEIGHTS, MO 63043
CONTACT: KIRK THOELKE
PH: (636) 887-4752
kirk.thoelke@lightcore.net
SANITARY = DUCKETT CREEK SANITARY DISTRICT
3550 HIGHWAY K
O'FALLON, MO 63368-8384
CONTACT: ENGINEERING DEPARTMENT
PH: (636) 441-1244

BENCHMARK
SC-13 ELEV=499.34
LOCATED 2.70 MILES N/NW OF THE INTERSECTION OF HIGHWAY 94 AND HIGHWAY D ON THE NORTH SIDE OF WESTBOUND LANES OF HIGHWAY 40 NEAR A FIELD ENTRANCE GOING NORTH FOR THE WESTBOUND LANES OF HIGHWAY 40. IT IS 29.55 FEET NE OF A P.K. NAIL IN THE CENTER LINE OF WESTBOUND HWY 40, 39.2 FEET SW OF THE CENTER OF THE TOP OF THE NORTHWEST END OF A CORRUGATED METAL PIPE.

SITE BENCHMARK
ELEV=572.66
CUT CROSS "+" ON ISLAND AT THE SOUTHEAST CORNER OF THE INTERSECTION OF WINGHAVEN BLVD. AND TECHNOLOGY DR.



UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, RECORDS AND INFORMATION, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS. THESE PROVISIONS SHALL IN NO WAY ABSOLVE ANY PARTY WITH COMPLYING WITH THE UNDERGROUND FACILITY SAFETY AND DAMAGE PREVENTION ACT, CHAPTER 319 RSMO.

STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. AND THE UNDERSIGNED ENGINEER HAVE NO RESPONSIBILITY FOR SERVICES PROVIDED BY OTHERS TO IMPLEMENT THE IMPROVEMENTS SHOWN ON THIS PLAN AND ALL OTHER DRAWINGS WHERE THE UNDERSIGNED ENGINEER'S SEAL APPEARS. THE CONSTRUCTION MEANS AND METHODS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. STOCK AND ASSOCIATES CONSULTING ENGINEERS, INC. HAS NO RESPONSIBILITY TO VERIFY FINAL IMPROVEMENTS AS SHOWN ON THIS PLAN UNLESS SPECIFICALLY ENGAGED AND AUTHORIZED TO DO SO BY THE OWNER OR CONTRACTOR.

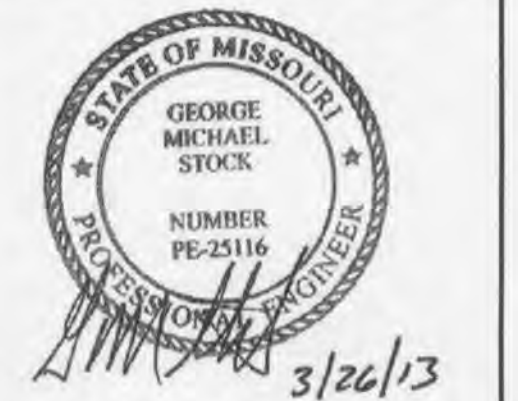
CITY OF O'FALLON NOTES

- CITY APPROVAL OF ANY CONSTRUCTION SITE PLANS DOES NOT MEAN THAT ANY BUILDING CAN BE CONSTRUCTED ON THE LOTS WITHOUT MEETING THE BUILDING SETBACKS AS REQUIRED BY THE ZONING CODES.
- ALL INSTALLATIONS AND CONSTRUCTION SHALL CONFORM TO THE APPROVED ENGINEERING DRAWINGS. HOWEVER, IF THE DEVELOPER CHOOSES TO MAKE MINOR MODIFICATIONS IN DESIGN AND/OR SPECIFICATIONS DURING CONSTRUCTION, THEY SHALL MAKE SUCH CHANGES AT THEIR OWN RISK, WITHOUT ANY ASSURANCE THAT THE CITY ENGINEER WILL APPROVE THE COMPLETED INSTALLATION OR CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO NOTIFY THE CITY ENGINEER OF ANY CHANGES FROM THE APPROVED DRAWINGS. THE DEVELOPER MAY BE REQUIRED TO CORRECT THE INSTALLED IMPROVEMENT SO AS TO CONFORM TO THE APPROVED ENGINEERING DRAWINGS. THE DEVELOPER MAY REQUEST A LETTER FROM THE CONSTRUCTION INSPECTION DIVISION REGARDING ANY FIELD CHANGES APPROVED BY THE CITY INSPECTOR.
- LIGHTING VALUES WILL BE REVIEWED ON SITE PRIOR TO THE FINAL OCCUPANCY INSPECTION.

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: [Signature] DATE 8-14-13
PROFESSIONAL ENGINEER'S SEAL
INDICATES PROFESSIONAL RESPONSIBILITY FOR DESIGN



STOCK & ASSOCIATES
Consulting Engineers, Inc.
257 Chesterfield Business Parkway
St. Louis, MO 63005 PH: (636) 530-9100 FAX: (636) 530-9100
e-mail: general@stockassoc.com
Web: www.stockassoc.com



GEORGE M. STOCK E-25116
CIVIL ENGINEER
CERTIFICATE OF AUTHORITY
NUMBER: 000996

Developer / Owner (Under Contract)
Chesterfield Childcare Properties, LLC
23 Boop Lane
St. Louis, Mo 63131
Facility Operator
Concord Properties, LLC
23 Boop Lane
St. Louis, Mo 63131

TITLE SHEET

DATE:	01/15/13	A.C.D.	DECKED BY:	G.M.S.
DATE:	01/15/13	A.C.D.	DECKED BY:	G.M.S.
DATE:	01/15/13	A.C.D.	DECKED BY:	G.M.S.

REVISIONS:

1	02/05/13	- CITY/WATER REVISIONS
2	03/12/13	- CITY REVISIONS
3	03/26/13	- CITY REQUIRED SETS

P+Z No. 9831.41.04
(APPROVED JANUARY 4, 2013)
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