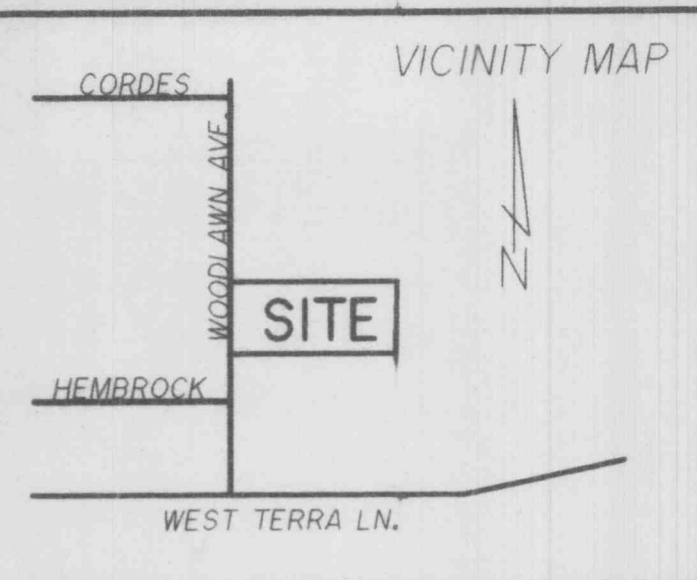


Bldg. A/E

Note: All entrance section within the right-of-way to be P.C.C. concrete pavement and metal existing pavement 10' x 20' trash enclosure pad will be P.C.C. concrete pavement

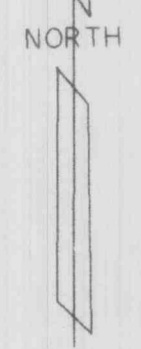
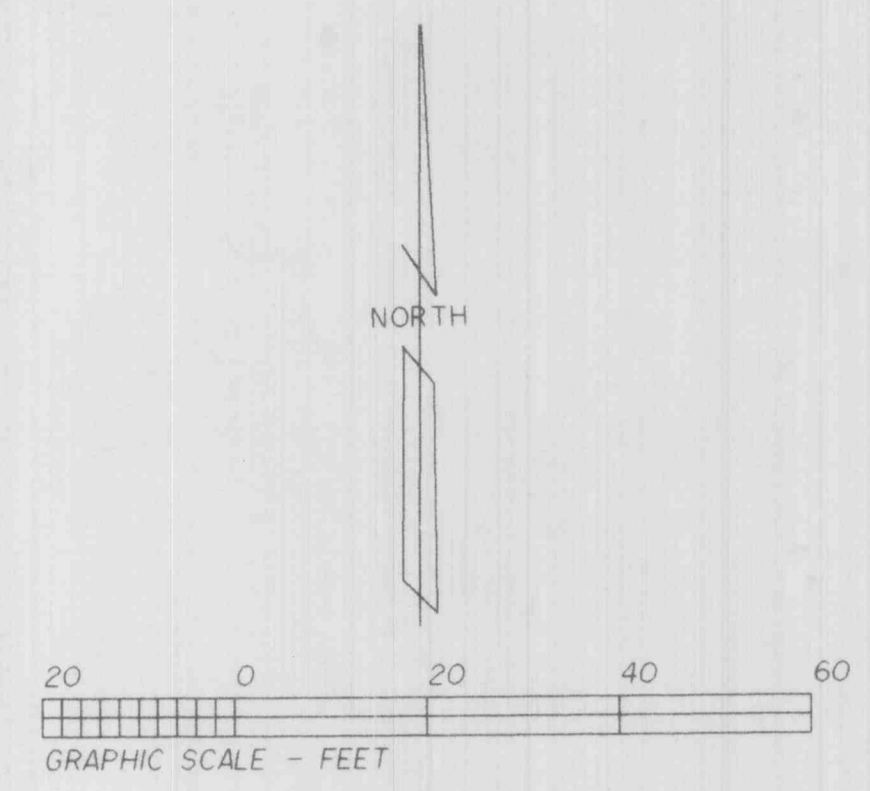
APPROVED
Apr 11, 2001



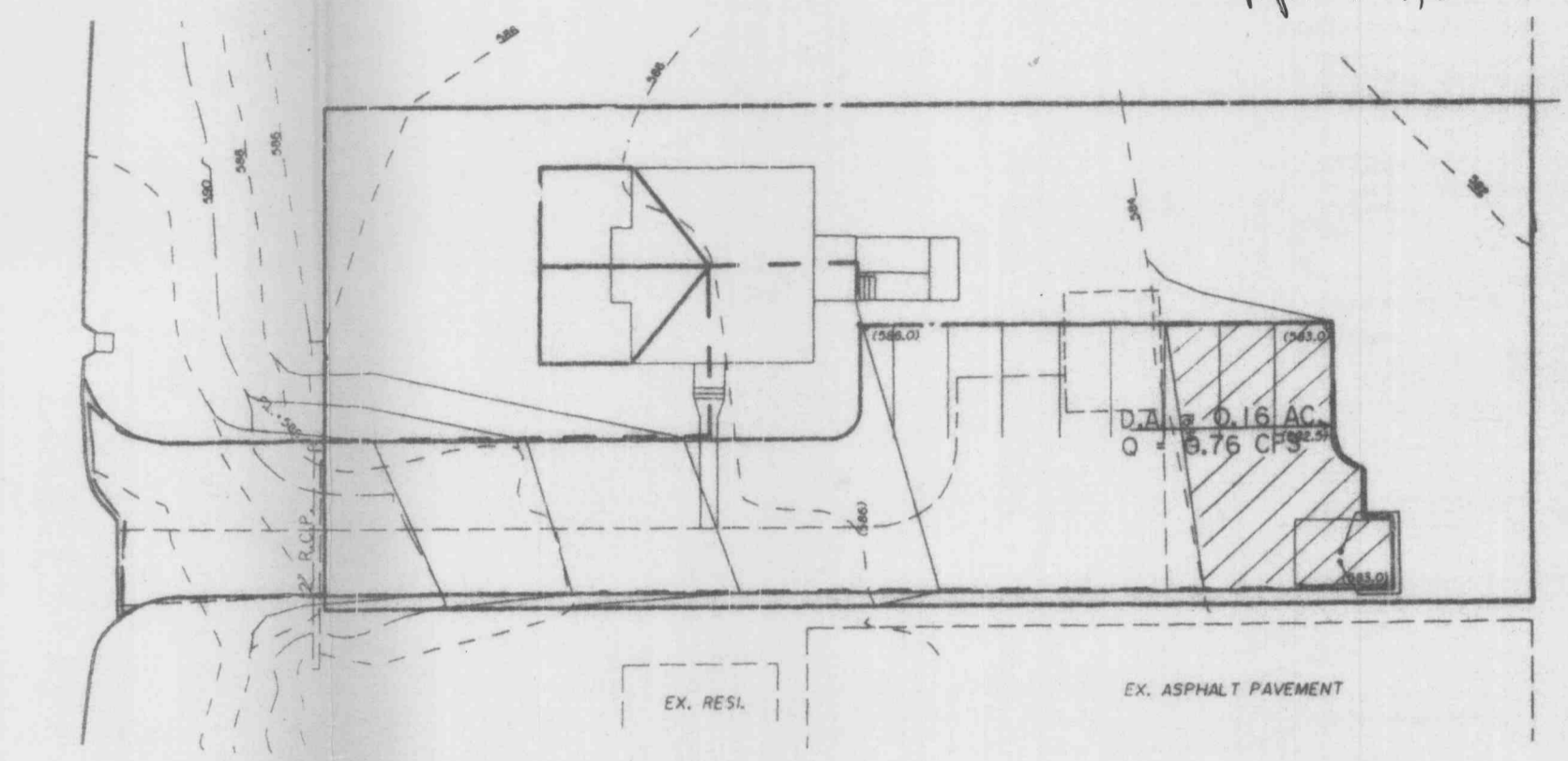
SITE PLAN

KILFOY DENTISTRY

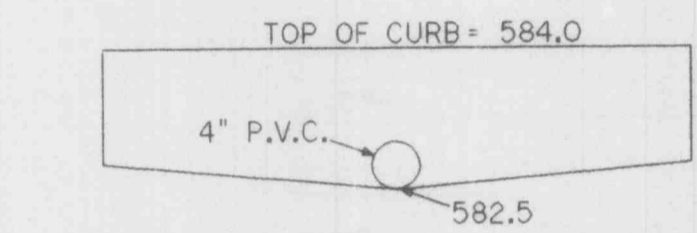
PART OF THE S.E. 1/4 OF THE N.E. 1/4 OF SEC. 29, T. 47 N., R. 3 E. CITY OF O'FALLON, ST. CHARLES CO., MO.



- NOTES:
- OWNER: DR. AYSE KILFOY
C/O KILFOY GENERAL DENTISTRY
108 W. TERRA LN.
O'FALLON, MO. 63366 240-6992
 - ARCHITECT: LEVINE ASSOCIATES
8630 DELMAR BLVD., SUITE 220
ST. LOUIS, MO. 63124 314-991-5600
 - PARKING REQUIREMENTS:
FOUR SPACES PER STAFF DENTIST PLUS TWO SPACES FOR EACH THREE EMPLOYEES, OR ONE SPACE FOR EVERY 190 SQ. FT. OF GROSS FLOOR AREA WHICH EVER IS GREATER. ONE DENTIST PLUS TWO EMPLOYEES WOULD REQUIRE SIX SPACES. APPROXIMATELY 1200 SQ. FT. OF GROSS FLOOR AREA WOULD REQUIRE SEVEN. EIGHT SPACES HAVE BEEN PROVIDED.
 - LANDSCAPING REQUIREMENTS:
 - ONE TREE FOR EVERY 40 FEET OF STREET FRONTAGE: 82 FT. OF FRONTAGE REQUIRES TWO ADDITIONAL TREES WHICH WILL BE PROVIDED
 - TREE PRESERVATION: ONE TREE FOR EVERY 3000 SQ. FT. OF LANDSCAPED OPEN SPACE. THERE WILL 10,600 SQ. FT. OF LANDSCAPED OPEN SPACE REQUIRING 4 TREES. 5 EXISTING TREES WILL AND 2 WILL BE REMOVED
 - DETENTION REQUIREMENTS: DETENTION WILL NOT BE REQUIRED. 36 PERCENT OF THIS SITE WILL BE IMPERVIOUS REQUIRING OWNER TO MAKE A \$1000-AC. STORM SEWER ASSESSMENT CONTRIBUTION.
 - PER F.I.R.M. 29183C027 E DATED AUG. 2, 1996, THIS SITE IS NOT IN A FLOOD PLAIN (ZONE X)
 - SITE COVERAGE CALCULATIONS: BUILDINGS - 9%
PARKING & WALKS - 27%
OPEN SPACE - 64%
 - OWNER WILL COMPLY WITH ARTICLE 26 OF THE ZONING CODE
 - CURRENT ZONING OF TRACT IS C-O, OFFICE DISTRICT
SETBACKS: FRONT - 25 FT.
SIDES - 10 FT.
REAR - 35 FT.
 - BENCHMARK: U.S.G.S. DATUM PER MOD.O.T. HIGHWAY PLANS
SOUTHEAST CORNER OF SOUTH HEADWALL, 59 FT. RIGHT OF STATION 703+50. ELEV. = 618.94
 - ALL EXTERIOR LIGHTING WILL BE DECORATIVE RESIDENTIAL
 - NO SLOPES SHALL BE STEEPER THAN 3:1.
 - UTILITIES SERVING SITE: TELEPHONE-VERIZON
WATER & SEWER-ALLIANCE OF O'FALLON
GAS-ST. CHARLES GAS
ELECTRIC-AMEREN/UE.
 - ALL NEW UTILITIES WILL LOCATED UNDERGROUND
 - ALL PROPOSED FENCING REQUIRES A SEPARATE PERMIT THROUGH THE PLANNING DIVISION.
 - THE EXISTING WATER SERVICE WILL REMAIN IN PLACE IF IT IS DEEP ENOUGH. IF NOT, IT WILL BE CUT AT THE WEST WALL OF THE NEW ADDITION AND NEW SERVICE INSTALLED.



DRAINAGE AREA MAP
SCALE: 1" = 30'



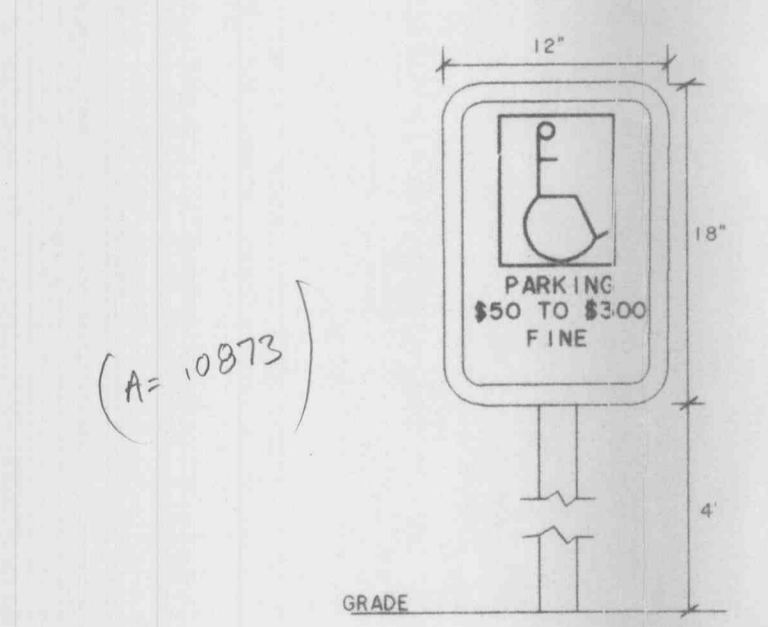
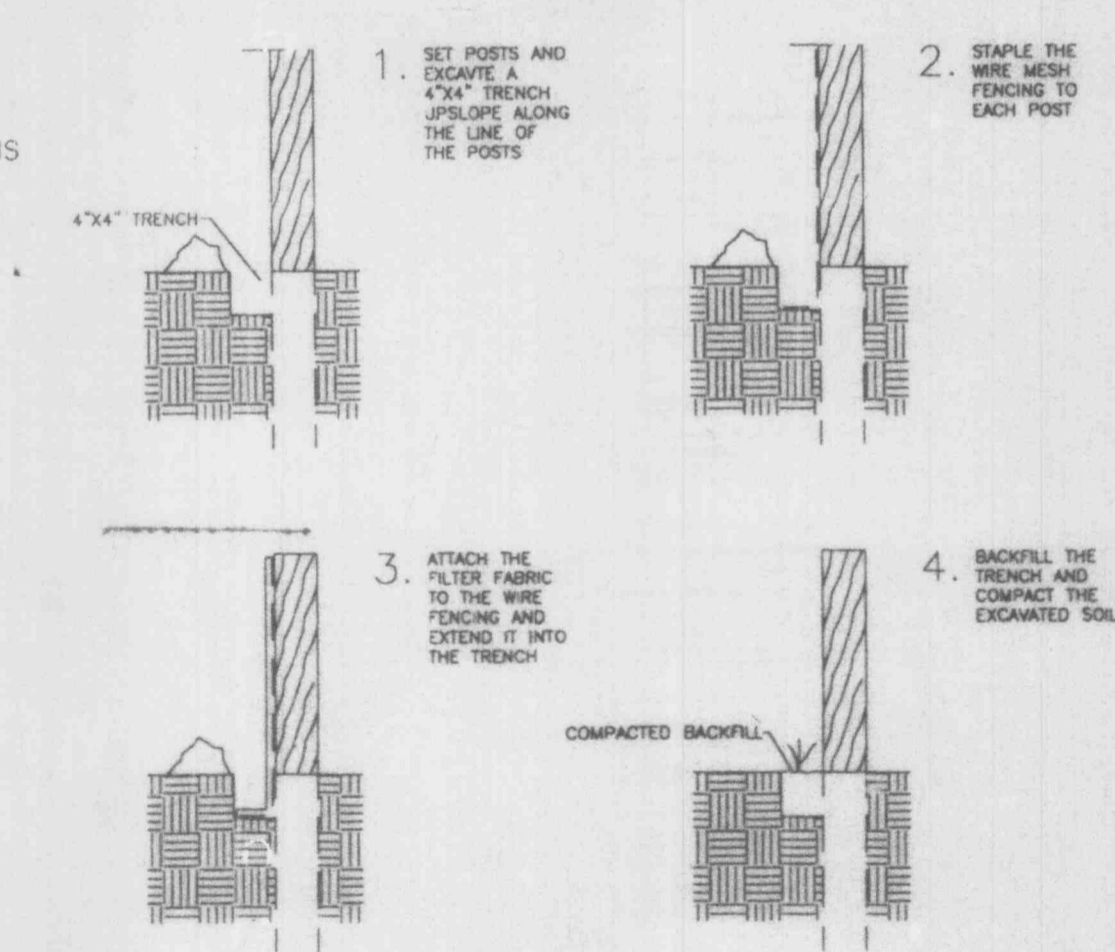
OUTFALL DETAIL
SYNTHETIC FILTER BARRIER

- FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY HALF THE HEIGHT OF THE BARRIER.
- SHOULD THE FABRIC DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE GRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.

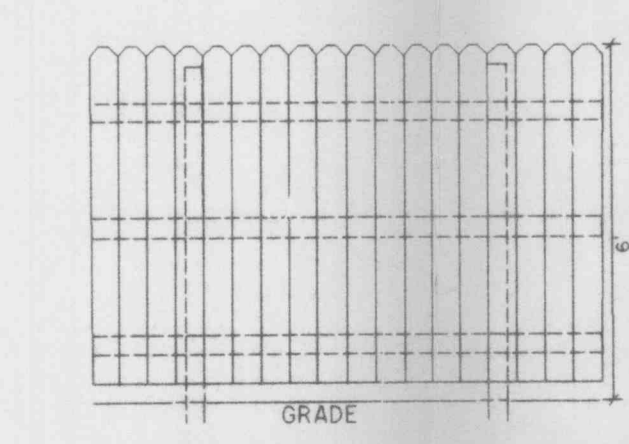
DIFFERENTIAL RUNOFF:
AREA OF SITE IMPROVED = 0.09 AC.
DEVELOPED RUNOFF FACTOR = 4.75
UNDEVELOPED RUNOFF FACTOR = 2.31
DIFFERENTIAL RUNOFF FACTOR = 2.44
STORAGE REQUIREMENTS (30 MIN.):
0.09 AC. X 2.44 CFS/AC. X 1800 SEC. = 395 C.F. WHICH IS LESS THAN THE 930 C.F. PROVIDED

RUNOFF TO BASIN:
0.16 ACRES IMPROVED X 4.75 CFS/AC. = 0.76 CFS
RUNOFF DETAINED: 0.09 AC. X 2.44 CFS/AC. = 0.22 CFS
ALLOWABLE OUT = 0.54 CFS

OUTFALL CALCULATIONS: USE 4" P.V.C.
 $Q_{out} = C \times A \sqrt{2gh}$
 $C = 0.60 \quad A = 0.085 \text{ s.f.} \quad h = 1.33 \text{ ft.}$
CALCULATED $Q_{out} = 0.60(0.085)\sqrt{64.4(1.33)}$
 $Q_{out} = 0.47 \text{ CFS} < 0.54 \text{ CFS (ALLOWABLE OUT)}$



HANDICAPPED SIGN DETAIL



SIGHT PROOF SOLID VINYL FENCE SECTION

RECEIVED
APR 11 2001
CITY OF O'FALLON, MO

REV. 4-10-01: ADDRESS STAFF COMMENTS
REV. 3-07-01: ADDED DETAILS & DETENTION CALCULATIONS

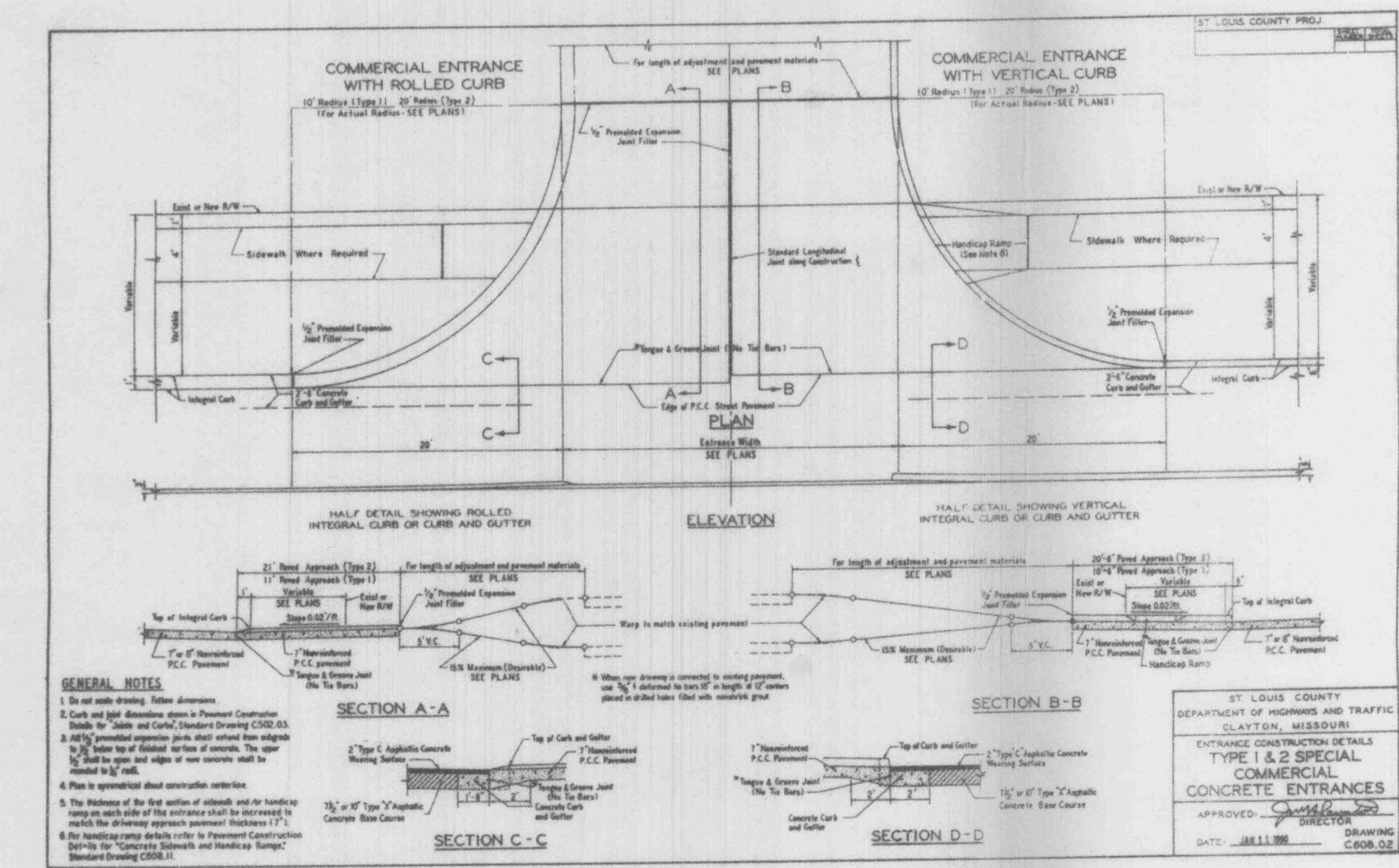
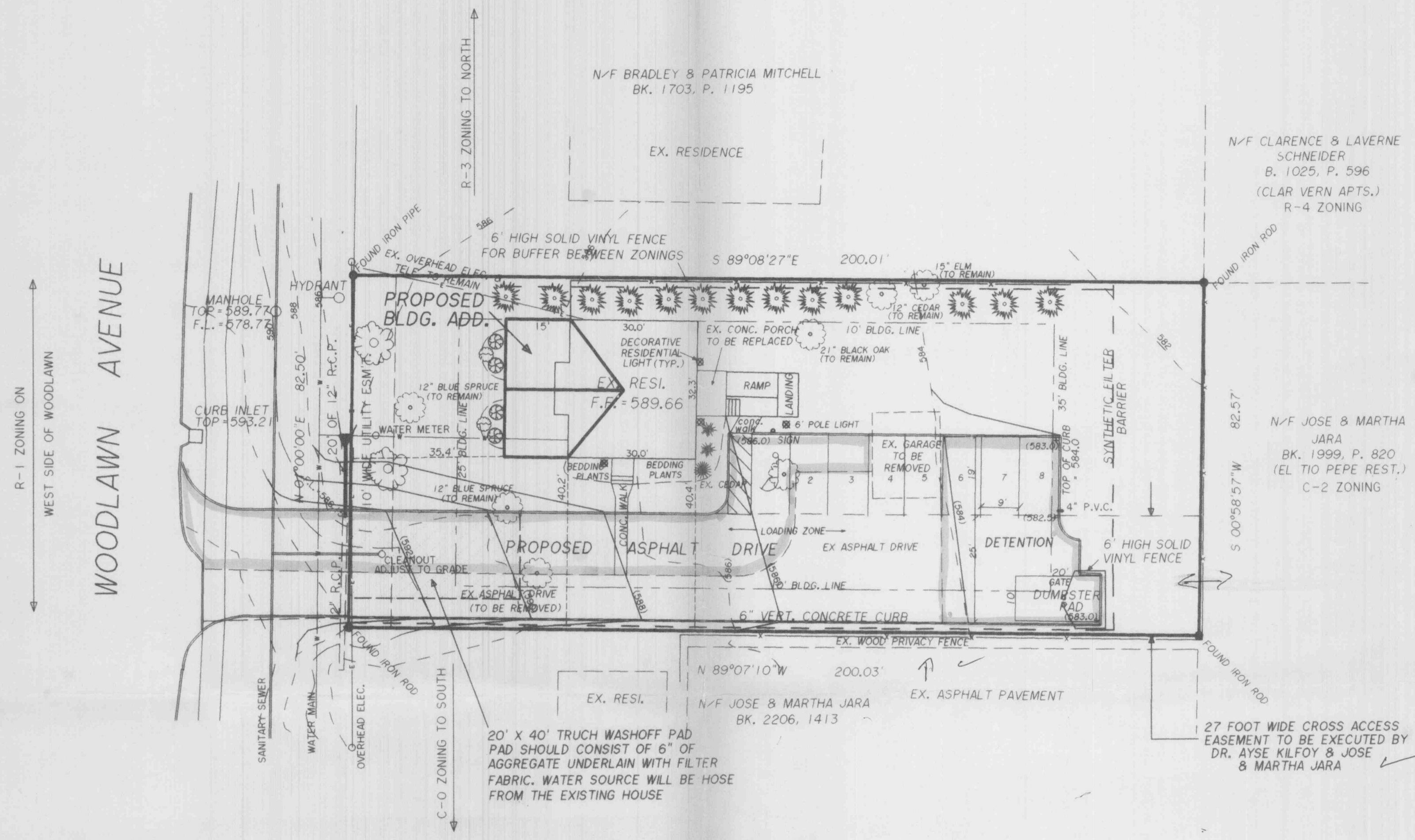


Landmark Surveying & Engineering, Inc.
802 E. Main St., Wentzville, Mo. 63385
332-9190 327-5853 Troy: 528-5452 Fax: 332-9285

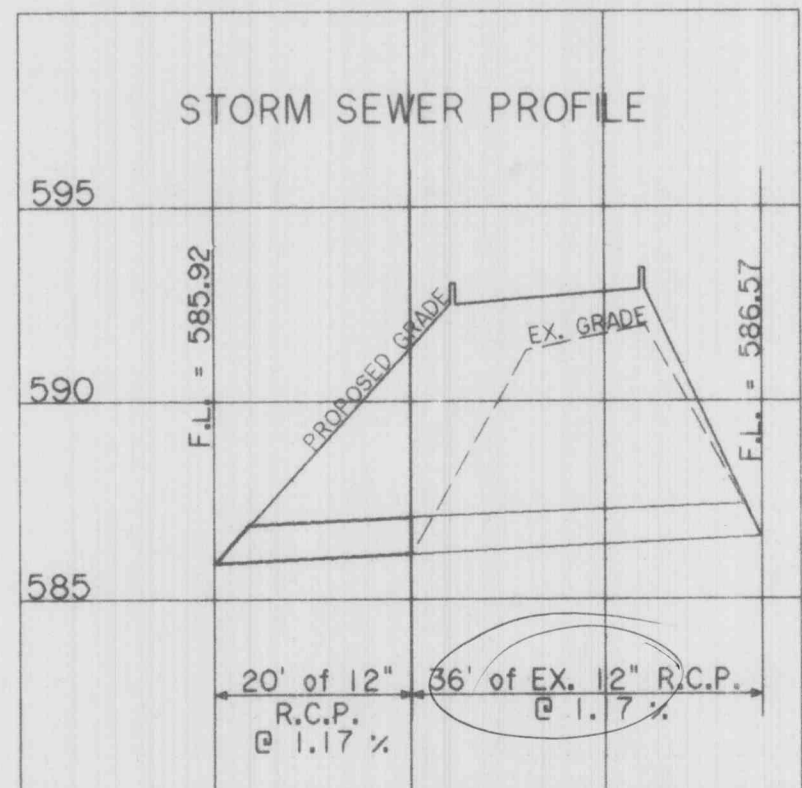
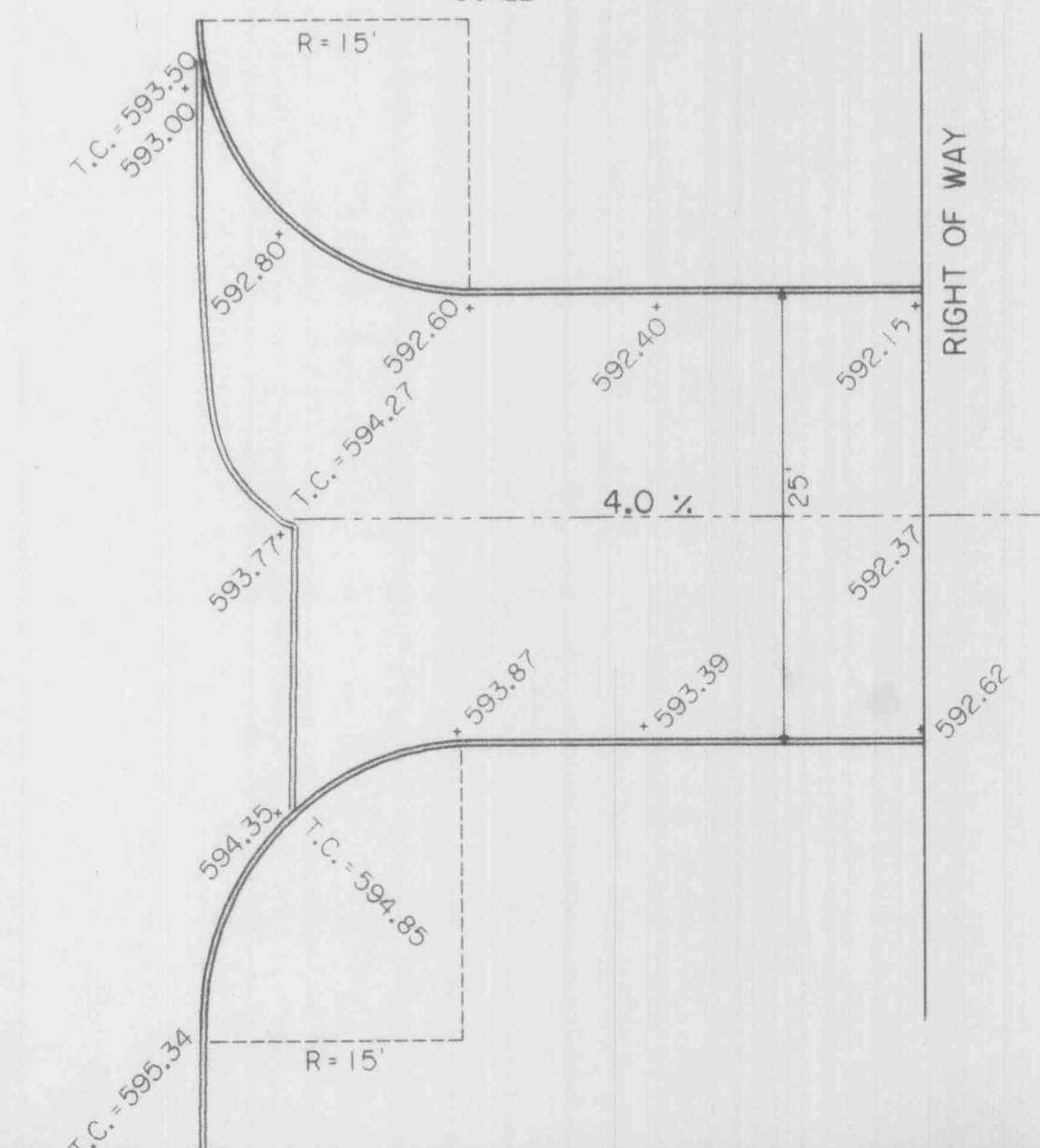
SITE PLAN

Drawn by: DWW	Checked by:	Reviewed by:	Job No.:
Date: 1-11-01	Date:	Date:	

KILFOY DENTISTRY



ENTRANCE DETAIL
SCALE: 1" = 10'



STORM SEWER PROFILE

SYMBOL	LANDSCAPING PLAN NAME	QUANT.	SIZE
	BRADFORD PEAR	2	3" CAL.
	BLUE HOLLY	4	3 GAL.
	EMERALD & GOLD EUONYMUS	2	2 GAL.
	YEW	2	2 GAL.
	EASTERN WHITE PINE	13	6 FT.

TYPICAL PAVEMENT CROSS SECTION
PREPARED SUBGRADE
2 - #4 BARS (CONTINUOUS)
3" ASPHALT
8" ROLLED STONE BASE