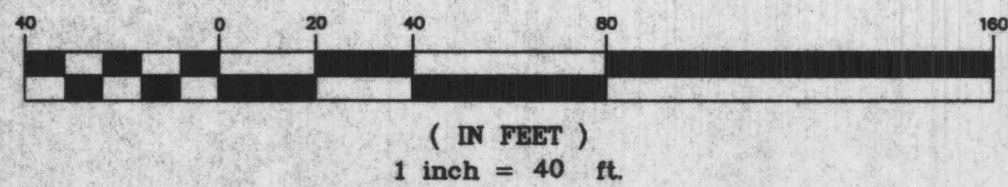


GRAPHIC SCALE



**SITE NOTES**

- All dimensions shown are to face of curb unless noted otherwise.
- DO NOT SCALE DRAINAGE, USE DIMENSIONS AS SHOWN.
- Additional siltation control may be required as directed by the City of O'Fallon.
- Storm sewers are to be private unless noted otherwise.
- Contractor to notify the engineer if discrepancies are found in the field compared to the design plans.
- Reference points, such as survey monuments, bench marks, stakes, etc., shall be preserved, but if disturbed or destroyed, shall be replaced as directed, at the expense of the contractor.
- All concrete and asphalt concrete pavement to be removed shall be sawcut on a straight line along the contact line with the existing pavement to remain. Concrete walks and curbs to be removed shall be sawcut at the nearest contraction or expansion joint.
- No work shall be done which will affect existing utilities prior to having ascertained that the utilities have been properly capped, plugged, or otherwise abandoned in a manner acceptable to the affected utility company. The appropriate agency shall be notified prior to the commencement of any work which will affect any existing utility. Removals or relocations by utility companies are to be initiated and coordinated by the Contractor.
- All site construction and sewer construction to be per City of O'Fallon and Duckett Creek Sanitary District standards and specifications.
- Building dimensions as shown are to the outside face of building and are per architectural plans received during October, 1999. See architectural plans for locations of building area walks, walls, etc. If overall building dimensions vary from those shown on these plans, contact the engineer prior to site construction.
- Conduct operations to prevent injury to adjacent buildings, structures, other facilities and persons. Signs, lights, and barricades shall be installed at all locations as necessary to guard against accident. Promptly repair damages caused to facilities by operations, as directed by the engineer and at no cost to the Owner.
- See irrigation plans by others for site irrigation.
- Pavement traffic marking to be one (1) coat of paint, white except as shown, and shall be chlorinated rubber based paint meeting Federal Specifications No. TT-P-115-D, Type III or equal. Application shall be 15 mils thick wet film (320 in. ft. of 4" stripe per gallon).
- Entrances shall be constructed per City of O'Fallon specifications.
- All outside trash containers, HVAC units, electric, telephone and gas meters, satellite dishes and rooftop mechanical apparatus shall be thoroughly screened with materials and/or landscaping to conceal the visibility of such items from the view of rights-of-way and/or adjacent properties.

**NOTE**  
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction.

**PARKING CALCULATIONS**

MANUFACTURING = 1 SPACE PER EMPLOYEE  
+ 1 SPACE PER 400 S.F. GROSS BUILDING AREA

TOTAL BUILDING AREA = 77,223 S.F.  
77,223 / 400 = 193 SPACES  
+ 50 EMPLOYEES = 50 SPACES  
= 243 TOTAL REQUIRED SPACES

TOTAL SPACES PROVIDED = 95 SPACES  
2 HANDICAPPED SPACES ARE REQUIRED  
2 HANDICAPPED SPACES ARE PROVIDED

NOTE: A VARIANCE FOR THE REQUIRED NUMBER OF PARKING SPACES WILL BE APPLIED FOR.

**LOADING SPACE CALCULATIONS**

1 SPACE FOR FIRST 5,000 SQ. FT. OF BUILDING  
1 SPACE FOR EVERY ADDITIONAL 20,000 SQ. FT.  
1 SPACE + (77,223 - 5,000) / 20,000 = 5 LOADING SPACES

NOTE: LOADING SPACES ARE LOCATED AT TRUCK DOCK DOORS.

**GENERAL NOTES**

- Present Zoning: HTCD - HIGH TECH CORRIDOR DISTRICT
- Proposed Use: MANUFACTURING (Primary use)
- Area of Tract: 6.74 Acres
- Fencing and Landscaping at property line will screen dumpsters from view.
- All utilities shall be located underground.
- Parking and building shall be in compliance with A.D.A. Accessibility Guidelines.
- Sanitary and storm sewers shall be designed per Duckett Creek Sanitary District & City of O'Fallon specifications.
- Building height, site lighting and signage shall be in accordance with City of O'Fallon requirements.
- For exact building dimensions, see architectural plans.
- Setback and yard requirements:  
Front - 30' (MIN.)  
Side - 30' (MIN.) For corner lots, otherwise 20'  
Rear - 35'
- Grading and drainage shall be per City of O'Fallon requirements.
- Architectural treatment to be provided on all sides of buildings.
- All easements shall be provided for on record plat.
- New freestanding lights shall match the existing lights.
- Proposed building mounted lighting at rear of building shall be directed down and shielded so as not to overflow onto adjacent residential properties.
- No slope shall be greater than 3:1 during construction or at final grade.
- Development shall comply with General Standards set forth in Article 5, Section 415.170 of the Flood Hazard Prevention Ordinance 1437.
- Landscaping is shown on the landscaping plan prepared by Baxter Farms.
- Portions of this site are within the 100 YR floodplain per FIRM Map Number 29183C0430, dated August, 1996. No improvements are proposed within the 100 YR floodplain.
- Stormwater detention is provided by O'Fallon Corporate Centre.
- No new signs are proposed.

Project is Served By:  
A. Missouri American Water Company (922-9008)  
B. St. Charles Gas Company (946-8937)  
C. G.T.E. Telephone Company (332-7366)  
D. Duckett Creek Sewer District (441-1244)  
E. Ameren U.E. (Electric) (925-3234)  
F. O'Fallon Fire Protection District (272-3493)

**SITE COVERAGE CALCULATIONS**

AREA OF SITE = 6.74 ACRES  
AREA OF BUILDING = 1.77 ACRES = 26%  
AREA OF PAVEMENT = 1.38 ACRES = 21%  
LANDSCAPED OPEN SPACE = 3.59 ACRES = 53%

**PLANTING AREA REQUIREMENTS WITHIN PARKING AND VEHICULAR USE AREAS**

FRONT LOT:  
48 SPACES x 270 SQ. FT./SPACE = 12,960 SQ. FT.  
0.06 x 12,960 S. FT. = 778 SQ. FT. OF LANDSCAPED AREA REQUIRED  
1,547 SQ. FT. OF LANDSCAPED AREA PROVIDED

REAR LOT:  
47 SPACES x 270 SQ. FT./SPACE = 12,690 SQ. FT.  
0.06 x 12,690 S. FT. = 761 SQ. FT. OF LANDSCAPED AREA REQUIRED  
2,201 SQ. FT. OF LANDSCAPED AREA PROVIDED

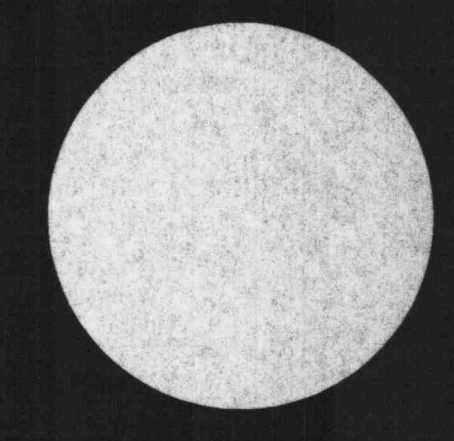
**SITE ADDRESS**  
3801 LLOYD KING DRIVE  
ST. CHARLES, MISSOURI 63304

**DEVELOPER**  
KING TECHNOLOGIES, INC.  
3801 LLOYD KING DRIVE  
ST. CHARLES, MISSOURI 63304  
CONTACT: ARCO CONSTRUCTION  
PHONE: (636)519-5400  
FAX: (636)519-5410

**PREPARED BY**  
PICKETT RAY and SILVER, INC.  
333 MID RIVERS MALL DRIVE  
ST. PETERS, MISSOURI 63376  
CONTACT: ROB TAYLOR  
PHONE: (636)397-1211  
FAX: (636)5397-1104

Civil Engineer: Pickett Ray and Silver  
Structural Engineer: Alper Ladd, Inc.

King Safety Products  
Contractor: ARCO Construction Company, Inc.  
Architect: Henderson Group



12-07-99, ADDED CURB AROUND STRIPPED ISLAND AND ALONG NEW EMPLOYEE PARKING LOT  
11-16-99, REVISE RETAINING WALL, PARKING CALCULATIONS, BOUNDARY, REVISE RADI TO FACE OF CURB  
Drawn by: END  
Checked by: R.J. TAYLOR

ISSUE DATE: 10-22-99

PRS JOB# 95144.ARCO.00C

**JOB #189**

**2 OF 5**