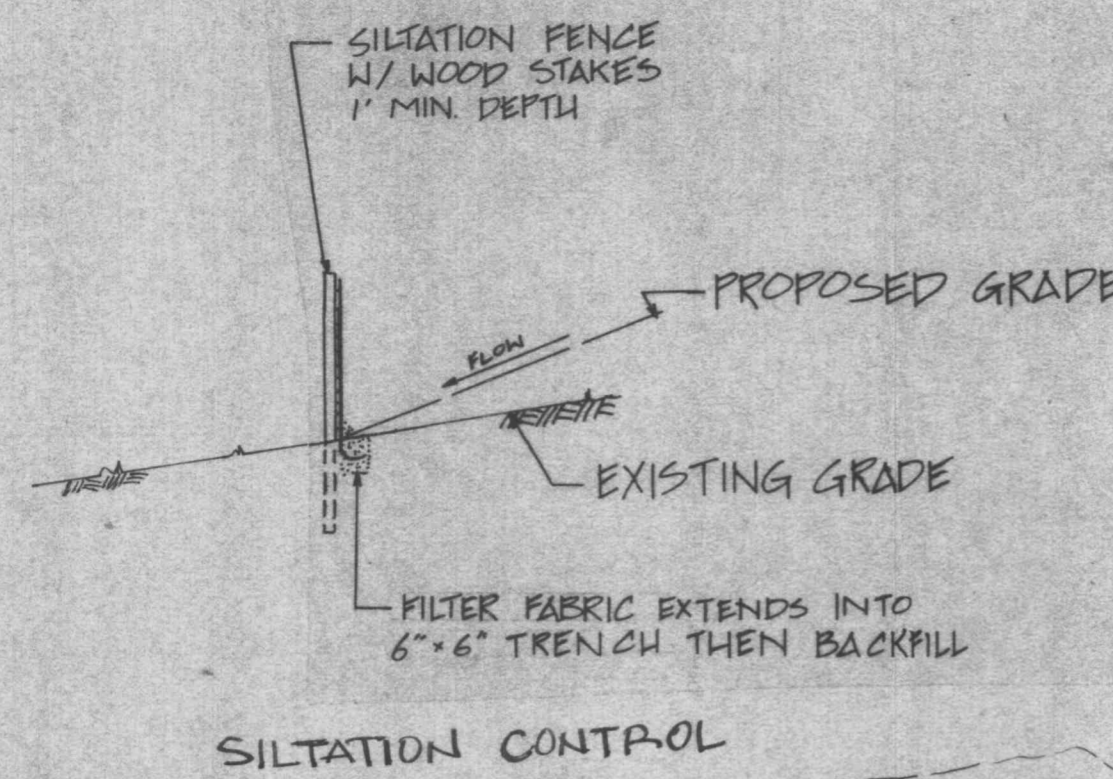


# PART OF LOT #1 OF THE O'FALLON CORPORATE CENTRE



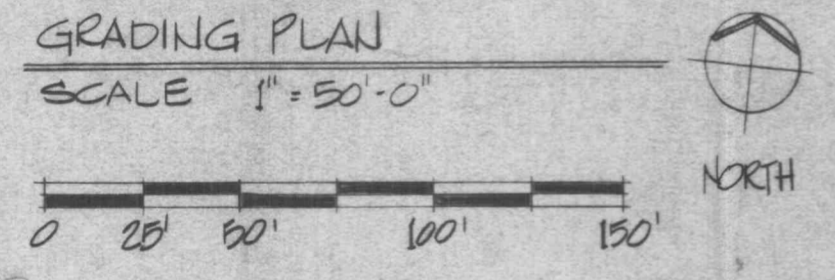
## GRADING NOTES:

- Underground utilities have been plotted from available information and therefore their locations must be considered approximate only. The verification of the location of all underground utilities, either shown or not shown on these plans shall be the responsibility of the contractor, and shall be located prior to grading or construction of improvements.
- The contractor shall restore offsite construction areas to an equal or better condition than existed prior to commencement of construction.
- Earth subgrade under building and paved areas. All fill placed under proposed storm and sanitary sewer lines, including trench backfills, must be compacted to 90% of maximum dry density as determined by a "Modified Proctor Test" (AASHTO T-180) compaction test or 95% of maximum density as determined by the Standard Proctor Test AASHTO T-99.
- All straw bales must be countersunk a minimum of 3".
- Siltation control shall be straw bales placed end to end and anchored with no less than 2 1/2" x 4' reinforcing rods. Upon completion of storm sewers, straw bales shall be placed on all sides of structures and shall remain until all graded areas are seeded or sodded.
- All grade shall be within 0.1 feet, more or less, of those shown on the grading plan.
- No slope shall be greater than 3:1 and shall be either sodded or seeded or mulched.
- The contractor shall field investigate the entire site prior to his bid submittal noting the existing vegetation and trees and including the removal and disposal of same in his bid.
- No area shall be cleared without permission of the developer.
- Siltation control will be provided as required to prevent runoff.
- Contractor shall strip site of topsoil and stockpile adequate amount to backfill landscaped areas. No topsoil is to be removed from site.
- NO TREES WILL BE REMOVED WITH THIS GRADING

O'Fallon Corporate Centre  
Legal Description - Lot 1  
PHASE I

A tract of land in U.S. Survey 1669, Township 46 North, Range 3 East, St. Charles County, Missouri lying within John D. Coalter's Old Dardenne Tract, and being more particularly described as follows:

Commencing at the intersection of the Northeasterly right-of-way line of Interstate Highway I-64 (Formerly U.S. Highway 40 Tr) and the Northerly line of the property conveyed to MMM Management Corporation (Parcel 1) as recorded in Book 997, Page 1532, St. Charles County Records; thence from said intersection point the following courses... on a curve to the right whose radius point bears North 26 degrees 27 minutes 18 seconds East 17,138.76 feet from the last mentioned point an arc distance of 277.65 feet, North 27 degrees 23 minutes 00 seconds East 10.00 feet, on a curve to the right whose radius point bears North 27 degrees 28 minutes 00 seconds East 17,128.76 feet from the last mentioned point an arc distance of 49.71 feet South 27 degrees 32 minutes 59 seconds West 10.00 feet, on a curve to the right whose radius point bears North 27 degrees 32 minutes 59 seconds East 17,138.76 feet from the last mentioned point an arc distance of 300.05 feet, North 28 degrees 33 minutes 10 seconds East 5.00 feet, on a curve to the right whose radius point bears North 28 degrees 33 minutes 10 seconds East 17,183.76 feet from the last mentioned point an arc distance of 49.73 feet, South 28 degrees 43 minutes 08 seconds West 5.00 feet, on a curve to the right whose radius point bears North 28 degrees 43 minutes 08 seconds East 17,138.76 feet from last mentioned point an arc distance of 49.74 feet, North 28 degrees 53 minutes 07 seconds East 15.00 feet, on a curve to the right whose radius point bears North 28 degrees 53 minutes 07 seconds East 17,123.76 feet from the last mentioned point an arc distance of 29.76 feet, South 29 degrees 01 minutes 06 seconds West 15.00 feet, on a curve to the right whose radius point bears North 29 degrees 01 minutes 06 seconds East 17,138.76 feet from the last mentioned point an arc distance of 452.98 feet to the actual POINT OF BEGINNING of the tract herein described; thence continuing on said Northeasterly right-of-way line on a curve to the right whose radius bears North 30 degrees 31 minutes 57 seconds East 17,138.76 feet from the last mentioned point an arc distance of 363.62 feet; thence leaving said Northeasterly line North 31 degrees 44 minutes 54 seconds East 342.96 feet, South 58 degrees 15 minutes 06 seconds East 83.40 feet, on a curve to the left whose radius point bears South 88 degrees 52 minutes 59 seconds East 289.82 feet from the last mentioned point an arc distance of 178.36 feet, South 34 degrees 34 minutes 20 seconds East 59.56 feet, on a curve to the right whose radius point bears South 55 degrees 25 minutes 40 seconds West 221.74 feet from the last mentioned point an arc distance of 184.03 feet; thence South 53 degrees 15 minutes 29 seconds West 71.57 feet to the POINT OF BEGINNING and containing 2.14 acres, more or less.



**BENCHMARKS**

**BM 37** Chisled square on NE corner of Weldon Spring Road Bridge over Schote Creek. (From FIRM Map 12/15/92 #29183C0105 D). Elevation: 506.71

**TBM** 80d Nail in Easterly face of power pole @ NW quad. of Hwy 40-81 & entrance to Tee-Kay Mobile Home Park. Elevation: 579.41

C.Y. CUT = 6930  
C.Y. FILL = 7026  
QUANTITIES FOR PERMITTING ONLY  
CONTRACTORS TO VERIFY QUANTITIES.

**NOTES**  
CONTOURS BASED ON TOPOGRAPHIC SURVEY BY FRONTIER LAND SERVICE CORP. DATED 7-24-95



**ENGINEERS AUTHENTICATION**  
The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in the project and specifically excludes revisions after this date unless reauthorized.  
PICKETT, RAY & SILVER, INC.

## LEGEND

	EXIST.	PROPOSED
CONTOUR	100	100
STORM SEWER	—	—
SANITARY SEWER	—	—
D.S.	—	—
C.O.	—	—
T.O.W.	—	—
		DOWN SPOUT
		CLEAN OUT
		TOP OF WALL
		SILTATION CONTROL

REV 11/11/95 CITY COMMENTS  
REV 8/11/95  
REV 7/28/95  
JULY 26, 1995

sheet title  
GRADING PLAN

sheet no.  
C3  
date: 8-4-95 job no:  
dwg by: PD chk by:



O'Fallon Corporate Centre  
City of O'Fallon, Missouri

**Owner:**  
King Technology, Inc.  
1637 N. Warson Road  
St. Louis, MO 63132

**General Contractor:**  
Keystone Companies  
12400 Olive Blvd.  
Suite 565  
St. Louis, MO 63141

**Architect:**  
Holleran Duitsman Architects, Inc.  
1350 Elbridge Payne Road  
Suite 202  
St. Louis, MO 63017

**Civil Engineer & Landscape Architect:**  
Loomis Boulton Pickett  
635 Maryville Center Drive  
Suite 210  
St. Louis, MO 63141