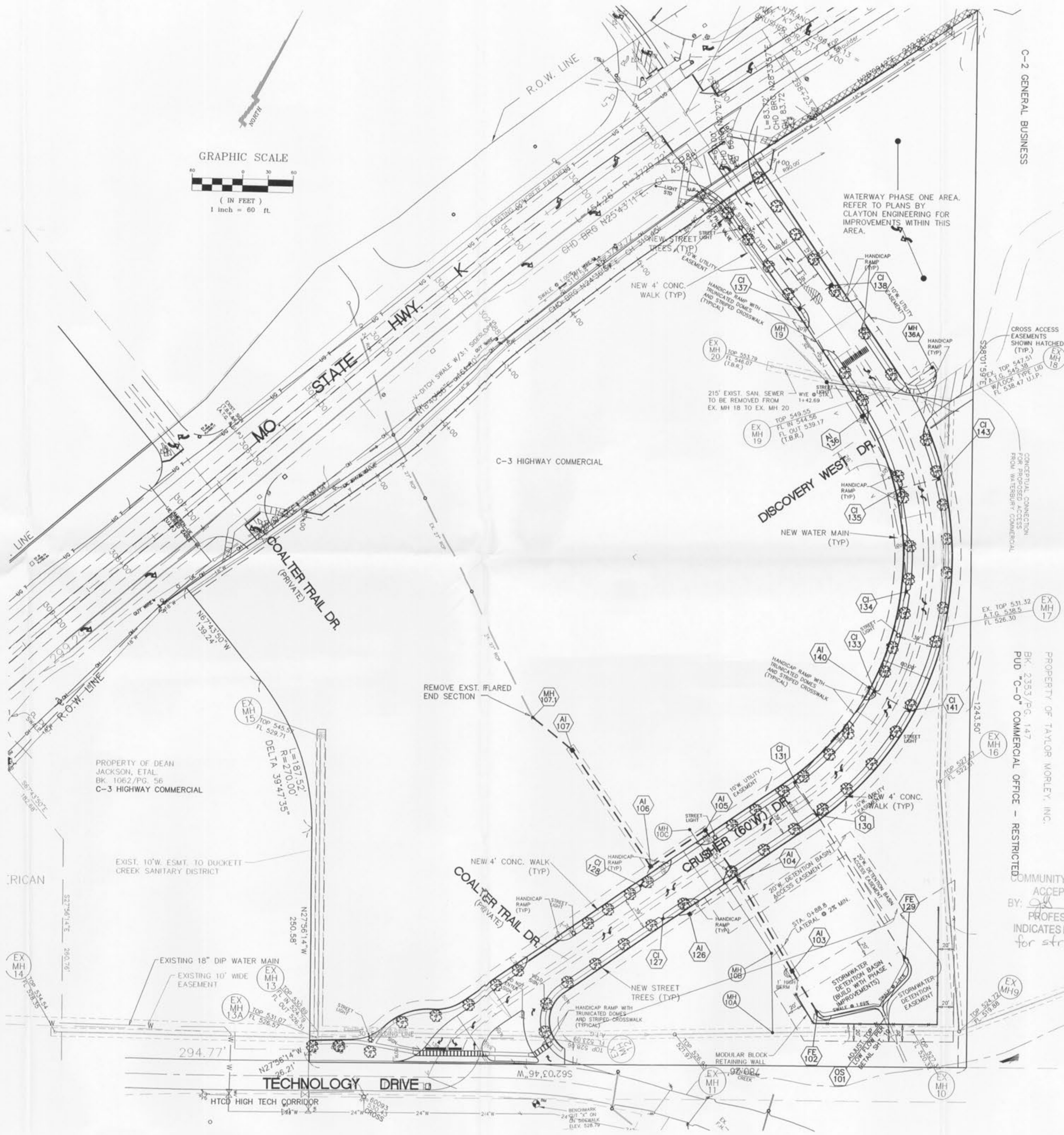
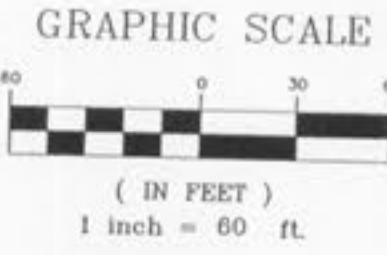


SITE NOTES:

1. CONTRACTOR TO NOTIFY THE CITY OF O'FALLON BLDG. DEPT. 48 HOURS PRIOR TO THE COMMENCEMENT OF GRADING AND/OR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS ON PROPOSED BUILDING.
3. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND SPECIFICATIONS ON SITE LIGHTING, SIGNAGE FOR BUILDING, ETC.
4. ALL DIMENSIONS ARE TO BACK OF CURB.
5. ENTRANCES TO BE CONSTRUCTED PER O'FALLON SPECIFICATIONS.
6. THE STREETS SURROUNDING THIS DEVELOPMENT AND ANY STREET USED FOR CONSTRUCTION ACCESS THERETO SHALL BE CLEANED THROUGHOUT THE DAY.
7. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
8. DEBRIS AND FOUNDATION MATERIAL FROM ANY ON-SITE BUILDING OR STRUCTURE THAT IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE PROPERLY DISPOSED OF OFF-SITE.
9. PROPOSED STORM SEWER SHALL COMPLY WITH ALL CITY, COUNTY & STATE STORMWATER MANAGEMENT ORDINANCES.
10. ALL NON-PAVED AREAS OF THIS DEVELOPMENT TO BE SEEDED OR COVERED WITH SOD.
11. REFER TO GRADING PLAN FOR ADDITIONAL NOTES AND INFORMATION.
12. CONTRACTORS TO VERIFY QUANTITIES BETWEEN ARCHITECTURAL AND CIVIL PLANS FOR BIDDING.
13. EXTERIOR LIGHTING TO COMPLY WITH SECTION 400.277 OF THE CITY OF O'FALLON CODES AND REGULATIONS.
14. ALL SIGNAGE TO REQUIRE SEPARATE REVIEW, APPROVAL AND PERMIT THROUGH PLANNING DIVISION. MONUMENT SIGN TO BE PROPOSED WHEN TENANT HAS BEEN ACQUIRED.
15. BRICK SHALL NOT BE USED IN THE CONSTRUCTION OF SANITARY SEWER STRUCTURES.
16. WATER METER LOCATION TO BE COORDINATED WITH PUBLIC WATER SUPPLY DISTRICT NO. 2 PRIOR TO INSTALLATION.
17. ALL WATER LINE INSTALLATION TO BE A MINIMUM OF 36" BELOW SURFACE GRADE.
18. ALL SIGN LOCATIONS AND SIZES MUST BE APPROVED SEPARATELY THROUGH THE PLANNING DIVISION.
19. ALL SIGN POST AND BACKS AND BRACKET ARMS SHALL BE PAINTED BLACK USING CARBOLINE RUSTBOND PENETRATING SEALER SG AND CARBOLINE 133 HB PAINT (OR EQUIVALENT AS APPROVED BY CITY AND MO DOT). SIGNS DESIGNATING STREET NAME SHALL BE ON THE OPPOSITE SIDE OF THE STREET FROM TRAFFIC CONTROL SIGNS.
20. CURB CUTS FOR WATERWAY GAS ARE SHOWN ON THE PLANS. FUTURE CURB CUTS SHOWN ARE FOR CONCEPTUAL PLANNING PURPOSES AND ARE SUBJECT TO CHANGE WHEN ADDITIONAL PHASES ARE DEVELOPED.
21. EXISTING AGRICULTURAL USE IN FUTURE DEVELOPMENT AREA TO REMAIN UNTIL FUTURE PHASES ARE DEVELOPED.
22. STORM WATER DETENTION BASIN TO BE CONSTRUCTED AS PART OF PHASE ONE IMPROVEMENTS.
23. THE EIGHT (8) FOOT WIDE MULTI-PURPOSE TRAIL ALONG HIGHWAY K, BETWEEN CRUSHER DR. AND THE SOUTHWEST PROPERTY LINE, WILL BE CONSTRUCTED WITH FUTURE PHASES OF THE IMPROVEMENT PLANS.
24. EXISTING ENTRANCE LOCATIONS ON TECHNOLOGY DR. WITHIN 300 FEET OF THE PROPOSED ENTRANCE: NONE.
25. A CROSS ACCESS EASEMENT FROM THE COALTER TRAIL DRIVE ENTRANCE AT HIGHWAY K TO THE JACKSON PROPERTY WILL BE PROVIDED AS REQUIRED WHEN FUTURE PHASES ARE DEVELOPED.



Missouri One Call System, Inc.
Call Before You Dig!
1-800-DIG-RITE
(1-800-344-7483)

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities, shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL, 1-800-DIG-RITE.

NOTE:
FOR ALL WORK WITHIN THE MISSOURI STATE RIGHT-OF-WAY FOR HIGHWAY K REFER TO KINGSMILL MO DOT ENTRANCE PLANS

CITY OF O'FALLON
COMMUNITY DEVELOPMENT DEPARTMENT
ACCEPTED FOR CONSTRUCTION
BY: *[Signature]* DATE: 6-13-07
PROFESSIONAL ENGINEER'S SEAL
INDICATES RESPONSIBILITY FOR DESIGN
for street light location

LANDSCAPE LEGEND

- THORNLESS HONEY LOCUST (GLEITSIA TRIACANTHOS IBERIS)
- 2" CALIPER @ 6" ABOVE GROUND

Disclaimer

ENGINEERS CERTIFICATION: We, the undersigned, certify that we are duly licensed Professional Engineers in the State of Missouri and that we are duly licensed Professional Surveyors in the State of Missouri. We are the authors of the plans and documents herein and we are responsible for the accuracy of the information contained therein. We warrant that the information contained herein is true and correct to the best of our knowledge and belief. We warrant that the information contained herein is true and correct to the best of our knowledge and belief. We warrant that the information contained herein is true and correct to the best of our knowledge and belief.

STEVEN W. POLK
PROFESSIONAL ENGINEER
NO. 18868
DATE: 6/13/07

No.	Date	Revision/Issue
11	06/06/07	REV. STREET LIGHTS (6 EA.)
10	12/14/06	AS BUILT SANITARY SEWERS
9	10/17/06	REV. FIRE HYDRANT LOCATIONS PER FIRE DIST.
8	10/16/06	REV. PER DUCKETT CREEK COMMENTS
7	9/29/06	REV. PER DUCKETT CREEK COMMENTS
6	9/14/06	ADD SAN. MH 1 TO MH 3
5	8/25/06	REV. SAN. MH STATION PER DUCKETT CREEK

KINGSMILL CROSSING
OVERALL CONSTRUCTION PLAN-PHASE 1

Zavradinos Professional Services, Inc.
ENGINEERING LAND SURVEYING SITE PLANNING
17815 EDISON AVE. SUITE 201
CHESTERFIELD, MO 63005
636-546-5555 636-449-0148 FAX www.zavradinos.com

KINGSMILL TRANSP. DEVELOPMENT DISTRICT
14151 CLAYTON ROAD
CHESTERFIELD, MO 63017
636-394-3577

RECEIVED
JUN 0 8 2007

CITY/COUNTY JOB NO.: 998404
DATE: APRIL 6, 2006
MSD P. BASEMAP
Original Issue Date: 5/1/06
Drawn By: JBC
JRE
Project No.: 96119
Sheet: 2

File